



Baker County Public Schools



Sherrie Raulerson, Superintendent of Schools

270 South Boulevard East, Macclenny, Florida 32063

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"The vision of the Baker County School Board is to prepare individuals to be lifelong learners, self-sufficient and responsible citizens of good character."

AGENDA SCHOOL BOARD WORK SESSION (Open to the Public) Thursday, February 25, 2021 - 1:00 p.m. District School Board Room (270 South Boulevard East, Macclenny, Florida)	
SUPPLEMENTAL MINUTE BOOK #49 PAGE #14	
➤	1:00 p.m. - Work Session on the New Kindergarten - Fifth Grade Elementary School.

AGENDA SCHOOL BOARD MEETING (Open to the Public) Thursday, February 25, 2021 – Immediately Following the Conclusion of the Prior Work Session Approximately 1:45 p.m. District School Board Room (270 South Boulevard East, Macclenny, Florida)		
SUPPLEMENTAL MINUTE BOOK #49 PAGE #14		
I.	A. Invocation	
	B. Pledge of Allegiance	
II.	CALL TO ORDER – 1:45 P.M.	
III.	ROLL CALL OF MEMBERS	
IV.	PUBLIC HEARINGS – 1:45 P.M. (if any)	
V.	RECOGNITIONS / PRESENTATIONS	
VI.	APPROVAL TO CORRECT AND/OR ADD ITEMS TO THE FINAL AGENDA	
VII.	REMOVAL OF ROUTINE ITEMS	
VIII.	APPROVAL OF ITEMS FOR ACTION	
	A. Approval of Items	CONTACT

Baker County School Board Meeting Agenda (Thursday, February 25, 2021) - Page 1 of 2
Minute Book # 39

Supplemental Minute Book #49 Page #14

"Preparing individuals to be lifelong learners, self-sufficient, and responsible citizens of good character"

DISTRICT SCHOOL BOARD MEMBERS

Tiffany McInarnay, District 1 🐾 Richard Dean Griffiths, District 2 🐾 Paula T. Barton, District 3 🐾 Charlie M. Burnett, III, District 4 🐾 Amanda Hodges, District 5

AN EQUAL ACCESS/EQUAL OPPORTUNITY INSTITUTION

	SM-A.	1.	Approval of AIA Document A133-2019 Exhibit A Guaranteed Maximum Price Amendment for the New Baker County Elementary School in the Amount of \$25,227,413.00 with Perry-McCall Construction, Inc. (GMP Book Dated 02/23/2021 Included)	Sherrie Raulerson (259-0401)
IX.	CITIZEN INPUT <i>(A Citizen Input form must be completed and submitted to the Board Secretary PRIOR to the beginning of the meeting if you wish to address the Board. You will be called on by the Chairman at the appropriate time. Presentations/comments are limited to ten (10) minutes.)</i>			
X.	INFORMATION AND ANNOUNCEMENTS			
XI.	ADJOURN			

NOTICE

Any person who desires to appeal any decision made by the School Board with respect to any matter considered at the above mentioned meeting will need a record of the proceedings, and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which an appeal may be based.

PERSONNEL ITEMS LIST FOR APPROVAL ON FEBRUARY 25, 2021

N/A



Document A133™ – 2019 Exhibit A

Guaranteed Maximum Price Amendment

This Amendment dated the 23rd day of February in the year 2021, is incorporated into the accompanying AIA Document A133™–2019, Standard Form of Agreement Between Owner and Construction Manager as Constructor where the basis of payment is the Cost of the Work Plus a Fee with a Guaranteed Maximum Price dated the 8th day of September in the year 2020 (the "Agreement")
(In words, indicate day, month, and year.)

for the following **PROJECT:**
(Name and address or location)

19042- New Baker County Elementary
Macclenny, Florida 32063

THE OWNER:
(Name, legal status, and address)

The School Board of Baker County, Florida
392 South Blvd. East
Macclenny, Florida 32063

THE CONSTRUCTION MANAGER:
(Name, legal status, and address)

Perry-McCall Construction, Inc.
6104 S. Gazebo Park Place
Jacksonville, Florida 32257

TABLE OF ARTICLES

A.1 GUARANTEED MAXIMUM PRICE

A.2 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION

A.3 INFORMATION UPON WHICH AMENDMENT IS BASED

A.4 CONSTRUCTION MANAGER'S CONSULTANTS, CONTRACTORS, DESIGN PROFESSIONALS, AND SUPPLIERS

ARTICLE A.1 GUARANTEED MAXIMUM PRICE

§ A.1.1 Guaranteed Maximum Price

Pursuant to Section 3.2.6 of the Agreement, the Owner and Construction Manager hereby amend the Agreement to establish a Guaranteed Maximum Price. As agreed by the Owner and Construction Manager, the Guaranteed Maximum Price is an amount that the Contract Sum shall not exceed. The Contract Sum consists of the Construction Manager's Fee plus the Cost of the Work, as that term is defined in Article 6 of the Agreement.

§ A.1.1.1 The Contract Sum is guaranteed by the Construction Manager not to exceed Twenty-Five Million, Two Hundred Twenty-Seven Thousand, Four Hundred Thirteen

ADDITIONS AND DELETIONS:

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed. A vertical line in the left margin of this document indicates where the author has added necessary information and where the author has added to or deleted from the original AIA text.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

AIA Document A201™–2017, General Conditions of the Contract for Construction, is adopted in this document by reference. Do not use with other general conditions unless this document is modified.

Init.

Dollars (\$ 25,227,413.00), subject to additions and deductions by Change Order as provided in the Contract Documents.

§ A.1.1.2 Itemized Statement of the Guaranteed Maximum Price. Provided below is an itemized statement of the Guaranteed Maximum Price organized by trade categories, including allowances; the Construction Manager's contingency; alternates; the Construction Manager's Fee; and other items that comprise the Guaranteed Maximum Price as defined in Section 3.2.1 of the Agreement.

(Provide itemized statement below or reference an attachment.)

See Exhibit One - GMP Book dated 2/23/21

§ A.1.1.3 The Construction Manager's Fee is set forth in Section 6.1.2 of the Agreement.

§ A.1.1.4 The method of adjustment of the Construction Manager's Fee for changes in the Work is set forth in Section 6.1.3 of the Agreement.

§ A.1.1.5 Alternates

§ A.1.1.5.1 Alternates, if any, included in the Guaranteed Maximum Price:

Item	Price
See Exhibit One - GMP Book dated 2/23/21	

§ A.1.1.5.2 Subject to the conditions noted below, the following alternates may be accepted by the Owner following execution of this Exhibit A. Upon acceptance, the Owner shall issue a Modification to the Agreement.

(Insert below each alternate and the conditions that must be met for the Owner to accept the alternate.)

Item	Price	Conditions for Acceptance
See Exhibit One - GMP Book dated 2/23/21		

§ A.1.1.6 Unit prices, if any:

(Identify the item and state the unit price and quantity limitations, if any, to which the unit price will be applicable.)

Item	Units and Limitations	Price per Unit (\$0.00)
See Exhibit One - GMP Book dated 2/23/21		

ARTICLE A.2 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION

§ A.2.1 The date of commencement of the Work shall be:

(Check one of the following boxes.)

☐ The date of execution of this Amendment.

☒ Established as follows:

(Insert a date or a means to determine the date of commencement of the Work.)

March 8, 2021

If a date of commencement of the Work is not selected, then the date of commencement shall be the date of execution of this Amendment.

§ A.2.2 Unless otherwise provided, the Contract Time is the period of time, including authorized adjustments, allotted in the Contract Documents for Substantial Completion of the Work. The Contract Time shall be measured from the date of commencement of the Work.

§ A.2.3 Substantial Completion

§ A.2.3.1 Subject to adjustments of the Contract Time as provided in the Contract Documents, the Construction Manager shall achieve Substantial Completion of the entire Work:

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User Notes: (3B9ADA3E)

(Check one of the following boxes and complete the necessary information.)

☐ Not later than () calendar days from the date of commencement of the Work.

☒ By the following date: June 16, 2022

§ A.2.3.2 Subject to adjustments of the Contract Time as provided in the Contract Documents, if portions of the Work are to be completed prior to Substantial Completion of the entire Work, the Construction Manager shall achieve Substantial Completion of such portions by the following dates:

Portion of Work

Substantial Completion Date

§ A.2.3.3 If the Construction Manager fails to achieve Substantial Completion as provided in this Section A.2.3, liquidated damages, if any, shall be assessed as set forth in Section 6.1.6 of the Agreement.

ARTICLE A.3 INFORMATION UPON WHICH AMENDMENT IS BASED

§ A.3.1 The Guaranteed Maximum Price and Contract Time set forth in this Amendment are based on the Contract Documents and the following:

§ A.3.1.1 The following Supplementary and other Conditions of the Contract:

Document	Title	Date	Pages
See Exhibit One - GMP Book dated 2/23/21			

§ A.3.1.2 The following Specifications:

(Either list the Specifications here, or refer to an exhibit attached to this Amendment.)

See Exhibit One - GMP Book dated 2/23/21

Section	Title	Date	Pages
---------	-------	------	-------

§ A.3.1.3 The following Drawings:

(Either list the Drawings here, or refer to an exhibit attached to this Amendment.)

See Exhibit One - GMP Book dated 2/23/21

Number	Title	Date
--------	-------	------

§ A.3.1.4 The Sustainability Plan, if any:

(If the Owner identified a Sustainable Objective in the Owner's Criteria, identify the document or documents that comprise the Sustainability Plan by title, date and number of pages, and include other identifying information. The Sustainability Plan identifies and describes the Sustainable Objective; the targeted Sustainable Measures; implementation strategies selected to achieve the Sustainable Measures; the Owner's and Construction Manager's roles and responsibilities associated with achieving the Sustainable Measures; the specific details about design reviews, testing or metrics to verify achievement of each Sustainable Measure; and the Sustainability Documentation required for the Project, as those terms are defined in Exhibit C to the Agreement.)

Title	Date	Pages
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Other identifying information:

§ A.3.1.5 Allowances, if any, included in the Guaranteed Maximum Price:
(Identify each allowance.)

Item	Price
See Exhibit One - GMP Book dated 2/23/21	

§ A.3.1.6 Assumptions and clarifications, if any, upon which the Guaranteed Maximum Price is based:
(Identify each assumption and clarification.)

See Exhibit One - GMP Book dated 2/23/21

§ A.3.1.7 The Guaranteed Maximum Price is based upon the following other documents and information:
(List any other documents or information here, or refer to an exhibit attached to this Amendment.)

See Exhibit One - GMP Book dated 2/23/21

ARTICLE A.4 CONSTRUCTION MANAGER'S CONSULTANTS, CONTRACTORS, DESIGN PROFESSIONALS, AND SUPPLIERS

§ A.4.1 The Construction Manager shall retain the consultants, contractors, design professionals, and suppliers, identified below:

(List name, discipline, address, and other information.)

See Exhibit One - GMP Book dated 2/23/21

This Amendment to the Agreement entered into as of the day and year first written above.

OWNER (Signature)

Paula T. Barton, Chairman of The School Board of
Baker County, Florida

(Printed name and title)

OWNER (Signature)

Sherrie Raulerson, Superintendent of The School
Board of Baker County, Florida

(Printed name and title)

CONSTRUCTION MANAGER (Signature)

Carson McCall Vice President

(Printed name and title)

Init.

Baker County Elementary

Guaranteed Maximum Price | February 23, 2021



904.292.2645

perry-mccall.com





JACKSONVILLE | DAYTONA BEACH
CONSTRUCTION MANAGEMENT
GENERAL CONTRACTING
DESIGN / BUILD

February 23, 2021

The School Board of Baker County, Florida
Ms. Sherrie Raulerson, Superintendent
392 South Blvd.
Macclenny, Florida 32063

Re: Guaranteed Maximum Price
19042 - New Baker County Elementary School

Dear Ms. Raulerson,

Perry-McCall Construction, Inc. is pleased to present this Guaranteed Maximum Price ("GMP") proposal for the above referenced project in the amount of:

**Twenty-Five Million, Two Hundred Twenty-Seven Thousand, Four Hundred Thirteen Dollars
(\$25,227,413.00)**

This proposal is based on the 100% construction documents prepared by Clemons Rutherford & Associates dated December 16, 2020, and is further defined by the qualifications and clarifications contained herein. ***Please make note of the Phasing Plan in Attachment A for visual clarity of the scope of work included in our GMP.*** The project was publicly advertised and sealed competitive bids were received on January 21, 2021. Those bids have been reviewed for completeness and adherence to the construction documents. Where decided, those recommended trade contractor awards are identified in the estimate. A complete copy of all bids received and the tabulation of same will be proved under a separate cover.

Please find the following documents attached for your review:

- GMP Estimate
- GMP Assumptions and Qualifications
- GMP Value Alternative Detailed Descriptions
- Document Log
- Drawing Review
- Project Schedule

Approval of this proposal is time critical. Material inflation is increasing at an alarming rate and we need to lock in pricing ASAP. We anticipate this GMP will be presented for board approval on February 25, and we will be ready to mobilize immediately thereafter. We look forward to the successful completion of this important project.

Sincerely,

A handwritten signature in black ink, appearing to be 'JRM', is written over the word 'Sincerely,'.

Perry-McCall Construction, Inc.



GMP TABLE OF CONTENTS

Estimate Summary, Base Scope.....	page 04
Estimate Summary, Base Scope w/ Value Alternates.....	page 06
General Conditions Detail (based on Alternate #4).....	page 08
Estimate Assumptions and Qualifications.....	page 10
Value Alternates Detailed Descriptions.....	page 17
Phasing Plan.....	page 22
Document Log.....	page 23
Drawing Review.....	page 37
Project Schedule.....	page 45



BAKER COUNTY SCHOOL BOARD
MACCLENNY "C" ELEMENTARY SCHOOL
 base scope estimate summary

2/23/2021

scope	pckg	Description	Total Amount
100000		base project scope as designed	
	014529	MATERIALS TESTING	33,000
	019100	COMMISSIONING SERVICES	24,450
	030000	CONCRETE	1,645,000
	040000	MASONRY	3,459,613
	051200	MISC. & STRUCTURAL STEEL	1,117,702
	054400	LIGHT GAGE TRUSSES AND ROOF DECK	1,273,966
	061000	ROUGH CARPENTRY	69,484
	064000	PLAM CABINETS, PILASTERS & WALL TREATMENTS	243,372
	072100	BUILDING INSULATION - SPRAY APPLIED INSULATION	48,548
	074113	PREFORMED WALL AND ROOF PANELS	1,929,000
	079200	WATERPROOFING AND SEALANTS	53,642
	081000	DOORS, FRAMES & HARDWARE (FURNISH & INSTALL)	617,650
	083333	OVERHEAD DOORS	6,390
	084000	GLASS, ENTRANCES & STOREFRONTS, AND WINDOWS	335,250
	092900	GYPSON DRYWALL & FRAMING	998,212
	095100	ACOUSTICAL CEILINGS & WALL PANELS	299,897
	096000	FLOORING	664,489
	099100	PAINTING	246,599
	100000	SPECIALTY TRADES	329,339
	101440	SIGNAGE	90,946
	105310	ALUMINUM WALKWAY CANOPY SYSTEM	147,262
	109900	WINDOW BLINDS	11,740
	114000	FOOD SERVICE EQUIPMENT	605,615
	116143	STAGE CURTAINS	16,054
	210000	FIRE SPRINKLER	277,930
	220000	PLUMBING	1,242,000
	230000	HVAC & CONTROLS	2,750,538
	260000	ELECTRICAL & LOW VOLTAGE SYSTEMS	3,350,296
	310000	SITEWORK & UTILITIES	5,003,973
	313116	TERMITE CONTROL	13,420
	320293	SODDING, SEEDING, AND MULCHING	118,226
	323100	FENCES & GATES	225,830
		100000 base project scope as designed	27,249,433



BAKER COUNTY SCHOOL BOARD
MACCLENNY "C" ELEMENTARY SCHOOL
 base scope estimate summary

2/23/2021

Totals

Description	Amount	Totals	Rate
		27,249,433	
sub default insurance	340,618		1.250 %
cost of work	340,618	27,590,051	
bldrs risk commercial	103,714		
general liability	291,690		
p & p bond	168,650		
subtotal	564,054	28,154,105	
preconstruction	81,025		
general conditions (base scope)	1,546,957		
subtotal	1,627,982	29,782,087	
construction contingency	893,463		3.000 %
design contingency			
owner contingency			
subtotal	893,463	30,675,550	
p & o	1,380,400		4.500 %
escalation			
building permit			
special fees, assessments			
subtotal	1,380,400	32,055,950	
<u>Total</u>		<u>32,055,950</u>	



BAKER COUNTY SCHOOL BOARD
MACCLENLY "C" ELEMENTARY SCHOOL
 estimate summary with allocated markups

2/23/2021

scope	va	Description	Total Amount
100000		base project scope as designed	32,055,950
300000		potential alternates	
	alt 001	ALTERNATE #1: Additive cost for Classroom Wing 700	1,910,446
	alt 004	ALTERNATE #4: Reduced Scope - Removing Wings 300, 500, & 600	(7,616,480)
		300000 potential alternates	(5,706,035)
320000		potential value analysis if Alternate #1 is accepted	
	VE 03.1	Masonry Bond Beams in lieu of Concrete Tie Beams at Exterior Walls	(10,491)
	VE 05.1	Light Gauge Guard Rails in lieu of Angled Guard Rails at Mezzanines	(8,967)
	VE 05.2	12 Gauge Bent Metal in lieu of 1/4" Bent Plat at Eaves, Gable Ends, and Expansion Joints	(5,399)
	VE 07.1	2" Double Lock Peterson Roof Panels in lieu of Specified	(12,453)
	VE 09.0	Type-X GWB in lieu of Abusive GWB	(3,652)
	VE 09.1	Tarkett ID Latitudes LVT in lieu of Tarkett Contour LVT	(4,250)
	VE 09.2	Tarkett Resonate Carpet in lieu of Tarkett Blocade Carpet	(3,772)
	VE 09.3	Delete the inside and outside Vinyl Base Corners	(504)
	VE 09.4	Resinous Floorinf in lie of Tile Flooring at Restrooms	(3,173)
	VE 22.1	Utilize CPVC in lieu of Copper Piping	(5,044)
	VE 22.2	Alternate Plumbing Fixture Package	(1,681)
	VE 22.3	Alternate Ball Valves	(560)
	VE 23.1	HVAC & Controls Value Engineering	(22,417)
	VE 26.1	Electrical & Low Voltage Value Enigneering	(16,813)
		320000 potential value analysis if Alternate #1 is accepted	(99,176)
330000		potential value analysis if Alternate #4 is accepted	
	VE 01.1	Reimbersable GC's Not Required	(136,519)
	VE 03.1	Masonry Bond Beams in lieu of Concrete Tie Beams at Exterior Walls	(57,163)
	VE 05.1	Light Gauge Guard Rails in lieu of Angled Guard Rails at Mezzanines	(56,042)
	VE 05.2	12 Gauge Bent Metal in lieu of 1/4" Bent Plat at Eaves, Gable Ends, and Expansion Joints	(47,527)
	VE 07.1	2" Double Lock Peterson Roof Panels in lieu of Specified	(86,529)
	VE 09.0	Type-X GWB in lieu of Abusive GWB	(27,529)



BAKER COUNTY SCHOOL BOARD
MACCLENNY "C" ELEMENTARY SCHOOL
 estimate summary with allocated markups

2/23/2021

scope	va	Description	Total Amount
	VE 09.1	Tarkett ID Latitudes LVT in lieu of Tarkett Contour LVT	(22,623)
	VE 09.2	Tarkett Resonate Carpet in lieu of Tarkett Blocade Carpet	(13,346)
	VE 09.3	Delete the inside and outside Vinyl Base Corners	(1,345)
	VE 09.4	Resinous Floorinf in lie of Tile Flooring at Restrooms	(14,769)
	VE 09.5	Resinous Flooring in lieu of Quarry Tile at Kitchen	(25,336)
	VE 11.1	Allow Alternate Manufacturers for the Kitchen Equipment	(16,813)
	VE 22.1	Utilize CPVC in lieu of Copper Piping	(44,834)
	VE 22.2	Alternate Plumbing Fixture Package	(10,704)
	VE 22.3	Alternate Ball Valves	(5,324)
	VE 22.4	LP Gas Tanks provided by Owner's Vendor in lieu of Contractor	(7,846)
	VE 23.1	HVAC & Controls Value Engineering	(134,502)
	VE 26.1	Electrical & Low Voltage Value Enigneering	(162,523)
	VE 31.1	HDP Storm Water Piping in lieu of RCP	(38,201)
	VE 32.1	Grass Seeding in lieu of Sodding	(64,121)
	VE 32.2	Reduce/Redesign Fencing Around Retention Ponds	(49,730)
		330000 potential value analysis if Alternate #4 is accepted	(1,023,327)
400000		eliminated alternates	
410000		eliminated value analysis from base project scope	

Estimate Totals

Description	Amount	Totals	Rate
<u>Total GMP</u>		<u>25,227,413</u>	



Macelenny "C" School, Baker County
Date: January 21, 2021

15.00 months
65.18 wks

92544.41

CODE	DESCRIPTION	QTY	UNIT	Labor		Mat		SUB	TOTAL	
				Unit	LABOR	Unit	MATERIALS		Includes	
				Cost	No Burden	Cost	No Tax	BID	Burden (45%),Tax (7%)	
Staff - Project Duration										
1-012	Superintendent	66.00	wks	2,900	191,400	-	-	-	-	277,530
1-013	Asst. Supt. (1)	62.00	wks	1,750	108,500	-	-	-	-	157,325
1-013	Asst. Supt. (2)		wks	1,750	-	-	-	-	-	-
1-026	Project Executive		wks	3,300	-	-	-	-	-	-
1-010	Sr. Project Manager	66.00	wks	2,900	191,400	-	-	-	-	277,530
1-011	Asst. PM	62.00	wks	1,450	75,400	-	-	-	-	109,330
	Administrative Assistant - Office ODP help	7.00	wks	800	5,600	-	-	-	-	8,120
	MEPPF Coordinator		wks	2,200	-	-	-	-	-	-
	Administrative Assistant - Reimbursable GC's	70.00	wks	1,200	84,000	-	-	-	-	121,800
1-016	General Labor - Cleanup #1	62.00	wks	640	39,680	-	-	-	-	57,536
1-016	General Labor - Cleanup #2	62.00	wks	640	39,680	-	-	-	-	57,536
1-017	Living Expense	15.00	mo	-	-	-	-	-	-	-
Staff - Closeout / Punch										
1-013	Assistant Superintendent	4.00	wks	1,550	6,200	-	-	-	-	8,990
1-011	Assistant Project Manager		wks	-	-	-	-	-	-	-
1-016	BIM Coordinator - Consultant		wks	-	-	-	-	-	-	-
1-016	General Labor		wks	-	-	-	-	-	-	-
Travel Expenses										
1-015	Superintendent Truck - Company Owned	15.00	mo	-	-	500	7,500	-	-	8,025
1-515	Superintendent Gas	15.00	mo	-	-	450	6,750	-	-	7,223
1-015	Asst. Supt. Truck - Allowance	15.00	mo	-	-	500	7,500	-	-	8,025
1-515	Asst. Superintendent Gas	15.00	mo	-	-	450	6,750	-	-	7,223
1-014	Project Executive's Travel Expense		mo	-	-	200	-	-	-	-
1-014	Project Manager Truck - Allowance	15.00	mo	-	-	500	7,500	-	-	8,025
1-515	Project Manager Gas	15.00	mo	-	-	450	6,750	-	-	7,223
1-515	Asst. Project Manager Gas	15.00	mo	-	-	450	6,750	-	-	7,223
1-516	Job Related Travel Expense		mo	-	-	200	-	-	-	-
Field Engineering										
1-021	Layout / Engineer supplies	15.00	mo	-	-	100	1,500	-	-	1,605
1-024	Survey	1.00	ls	-	-	-	-	10,000	-	10,000
Safety / First Aid										
1-019	Safety Consultant Visits	15.00	mo	-	-	-	-	500	-	7,500
1-020	AED - Automated External Defibrillator	1.00	ls	-	-	-	-	1,500	-	1,500
1-513	First Aid supplies	15.00	mo	-	-	25	375	-	-	401
1-594	Safety Equipment	1.00	ls	-	-	2,000	2,000	-	-	2,140
1-594	Hardhats for Jobsite Staff, A/E, Owner	30.00	ea	-	-	45	1,350	-	-	1,445
Submittals										
1-304	Overall Project Construction Schedule		mo	-	-	25	-	-	-	-
1-304	Progress Schedules and Reports		mo	-	-	50	-	-	-	-
1-301	Shop Drawings, Product Data & Samples		ls	-	-	2,500	-	-	-	-
1-305	Construction Photographs	15.00	mo	-	-	125	1,875	-	-	2,006
1-305	Digital Camera		ls	-	-	250	-	-	-	-
Temporary Utilities										
1-504	Temporary electricity - setup	1.00	ls	-	-	2,000	2,000	-	-	2,140
1-505	Temporary electricity - monthly	15.00	mo	-	-	750	11,250	-	-	12,038
1-505	Temporary electricity - generator	4.00	mo	-	-	1,500	6,000	-	-	6,420
1-501	Temporary Telephone - installation		ls	-	-	150	-	-	-	-
1-502	Temporary Telephone - monthly		mo	-	-	250	-	-	-	-
1-509	Temporary Water - setup	1.00	ls	-	-	500	500	12,500	-	13,035
1-510	Temporary Water - monthly		mo	-	-	400	-	-	-	-
1-503	Temporary Toilets (6/ea)	90.00	mo	-	-	125	11,250	-	-	12,038
1-508	Temporary Heat		mo	-	-	500	-	-	-	-
	Temporary Gas		ls	-	-	500	-	-	-	-
1-586	Permenant Power	4.00	mo	-	-	####	50,000	-	-	53,500
1-507	Early HVAC start-up		ls	-	-	-	-	9,255	-	-



Macleanny "C" School, Baker County
Date: January 21, 2021

15.00 months
65.18 wks

92,544.00

CODE	DESCRIPTION	QTY	UNIT	Labor		Mat	MATERIALS	SUB	TOTAL
				Unit	Cost		Unit	Cost	
					No Burden		No Tax	BID	Includes Burden (15%), Tax (7%)
Temporary Construction									
1-591	Employee Background Checks	15.00	ea	-	-	85	1,275	-	1,364
1-591	Employee Badges	20	ea	-	-	20	-	-	-
1-303	Drawing Reproduction (construction)	5.00	sets	-	-	500	2,500	-	2,675
1-520	Topping Out Party	1.00	ls	-	-	-	-	2,500	2,500
1-591	Protected Pedestrian Walkways	1.00	ls	-	-	-	-	500	-
1-580	Construction Area Fence	800.00	lf	-	-	6	4,800	-	5,136
1-580	Temporary Fence Maintenance	66.00	wks	-	-	25	1,650	-	1,766
1-581	Temporary Site Barriers	1.00	ls	-	-	-	-	500	500
1-581	Temporary Signage	1.00	ls	-	-	500	500	-	535
1-592	Project Identification / Signs	1.00	ls	100	100	800	800	-	1,001
1-522	Ice Water & Cups	15.00	mo	-	-	100	1,500	-	1,605
1-305	Construction Photographs - Drone	1.00	ls	-	-	1,250	1,250	-	1,338
1-305	Construction Photographs - Webcam	1.00	mo	-	-	100	-	-	-
1-521	Radio Communication - Jobsite Radios	1.00	mo	-	-	100	-	-	-
1-522	Fire Extinguishers	12.00	ea	10	120	100	1,200	-	1,458
1-523	Fire Extinguisher Stands	12.00	ea	10	120	90	1,080	-	1,330
1-581	Light Dewatering	1.00	mo	-	-	-	-	1,000	-
1-524	Small Tools	15.00	mo	-	-	250	3,750	-	4,013
1-524	Small Tools - Tool Box	1.00	ls	-	-	2,000	2,000	-	2,140
1-582	Construction Entrances	1.00	ls	-	-	-	-	3,500	3,500
1-634	Miscellaneous Equipment Rental	15.00	mo	-	-	500	7,500	-	8,025
1-634	Miscellaneous Equipment Rental - Fuel	15.00	mo	-	-	200	3,000	-	3,210
1-583	Tree Protection	1.00	ls	-	-	-	-	2,000	-
1-526	Trash Hauling & Dump Fees	131.00	pulls	-	-	450	58,950	-	63,077
Field Office									
1-560	Office Trailer (12'x60')	15.00	mo	-	-	600	9,000	-	9,630
1-561	Setup / Takedown Trailers	2.00	ls	-	-	-	-	2,500	5,000
1-561	Office Steps / Deck	1.00	ls	-	-	-	-	2,500	2,500
1-562	Temporary Holding Tank (office trailer toilet)	15.00	mo	-	-	250	3,750	-	4,013
1-563	Temporary Electric for Jobsite Office	15.00	mo	-	-	100	1,500	-	1,605
1-563	Temporary Water for Jobsite Office	1.00	mo	-	-	50	-	-	-
1-511	Jobsite Office supplies	15.00	mo	-	-	50	750	-	803
1-512	Express Mail	1.00	ls	-	-	1,500	1,500	-	1,605
1-601	Jobsite Office Furniture - Per Office	2.00	ea	-	-	500	1,000	-	1,070
1-601	Jobsite Office Furniture - Conference Room	1.00	ea	-	-	800	800	-	856
1-601	Computers, Printer & Software	1.00	ls	-	-	2,500	2,500	-	2,675
1-602	PM Software - BIM360	70.00	wks	-	-	120	8,400	-	8,938
1-601	Tablet	2.00	ls	-	-	1,000	2,000	-	2,140
1-601	Cell Phones	58.00	mo	-	-	65	3,770	-	4,034
1-602	Copy Machine	1.00	ls	-	-	1,000	1,000	-	1,070
1-576	Storage Trailer - 8'x40'	14.00	mo	-	-	100	1,400	-	1,498
1-561	Delivery/Pickup	2.00	ea	-	-	90	180	-	193
Facility Start-up & Contract Closeout									
1-529	As-Built Drawings	1.00	ls	-	-	-	-	2,000	2,000
1-531	Warranties & Closeout Documents	1.00	ls	-	-	-	-	2,500	2,500
1-530	Punchlist	1.00	ls	2,000	2,000	-	-	500	3,400
1-530	Punchlist Cart	1.00	ls	-	-	1,000	1,000	-	1,070
1-528	Final Cleaning - Building SF	92,544.00	sf	-	-	0	38,868	-	41,589
1-528	Final Cleaning - Glass SF	10,882.00	sf	-	-	0	2,082	-	2,228
Total						744,200	308,856		1,460,066



GMP ASSUMPTIONS AND EXCLUSIONS

This Guaranteed Maximum Price ("GMP") includes the first phase of constructing a new elementary school. The first phase will include areas 800 (cafetorium), 100 (administration), 200 (media), partially 300 (central corridor), 700 (aka "Alternate #1" classrooms), and 400 (classrooms and covered play). The cost for all associated earthwork, site utilities, and site improvements is included in this estimate. This GMP does not include buildings 500 (classrooms) and 600 (classrooms), hereinafter referred to as "Phase 2." Phase 2 is expected to be added to this scope of work via change order, contingent upon the Owner obtaining additional funding. The cost associated with Phase 2 (today) has an estimated value of \$32.5M. However, the Construction Manager cannot guarantee the cost associated with Phase 2 will remain as they are at the date of this GMP due to inflation.

For a visual representation of the scope of work included in this GMP, see Campus Plan Phasing drawing dated 2/22/21 ("Attachment A").

This estimate is based on the Construction Documents prepared by Clemons, Rutherford and Associates Inc. dated December 16, 2020, addenda 1-2, preconstruction RFI responses, the Geotechnical Engineering Study Report prepared by Meskel Engineering & Consulting, Inc. dated March 11, 2020 and the Addendum Report dated January 27, 2021 and the qualifications below.

This GMP Proposal is valid until February 26, 2021. After February 26, 2021, there will be price increases. The increases are not quantifiable at this time.

Division 01 – General Conditions

1. Phase 1: The estimate assumes an overall construction duration of 15 months and one week to project completion, with an anticipated start date of March 8, 2021. Anticipated construction completion is June 16, 2022.
2. Phase 2: If notified prior to June 15, 2021 (and assuming materials are available to not interrupt construction flow), the anticipated completion date for Phase 1 **and** Phase 2 would be July 29, 2022.
3. Construction will be accomplished during normal working hours which will include various activities causing loud noises.
4. A Construction Manager's Contingency of 3% is included to cover unforeseen conditions, minor discrepancies in the construction documents, and unexpected events in the construction process and

- schedule. The estimate **does not** include separate owner or architect contingencies. The Construction Manager recommends that the Owner carry their own contingency.
5. Contingency for market escalation is not included for any phase.
 6. The cost of a performance and payment bond is included.
 7. Builder's risk insurance is included and provides protection to property that is damaged during the course of construction, in transit to the job site or temporarily stored offsite on the designated project.
 8. General liability insurance is included and provides protection for injuries or damages caused to a third party that is not covered by automobile or professional liability. Workers comp, automobile, and professional liability insurance costs are incorporated into this line item.
 9. Subcontractor default insurance is included and mitigates the Owner and Construction Manager's risk of loss, through the statute of repose period, for subcontractors who fail to meet the terms of their subcontract.
 10. No costs have been included for permits (including building permits and Right of Way permits) of any kind, impact fees, or utility connection charges.
 11. No allowances are included for any changes that may result from the final reviews, approvals or permitting by a required regulatory.
 12. We assume all permitting, including but not limited to, SJRWMD, DEP, ACOE, DOT, and all other related agencies has been approved.
 13. We have included an allowance for material testing for the following: asphalt, concrete, masonry, steel & soils testing.
 14. No costs for threshold inspection fees have been included.
 15. This GMP assumes that the water service, as noted on C 701, will be installed prior to the Construction Manager installing the water line. The Construction Manager does not take responsibility for delays caused by third party entities.
 16. This GMP assumes permanent power will be brought to the site prior to the Construction Manager needing permanent power. The Construction Manager does not take responsibility for delays caused by third party entities.
 17. No special provisions have been included for sustainable design or construction certifications.
 18. It is expressly stated that there could be labor and material impacts of COVID-19 and these impacts are beyond the Construction Manager's reasonable control and are not foreseeable by the Construction Manager at the time of executing this GMP. If faced with detrimental impacts due to COVID-19 during the performance of this Project, the Construction Manager will mitigate the resulting schedule and monetary impacts. However, the Construction Manager does not guarantee nor assume the schedule or monetary impacts of COVID-19.

19. A detailed estimate of general conditions costs is included as required under Attachment C. Upon approval of same, general conditions will convert to lump sum and be billed in equal monthly amounts.

Division 01 – Allowances

1. Some Value Alternatives (“VA”) items are allowances. See VA section for detailed breakdown.
2. Brick veneer: \$350 per thousand. The specifications do not call out brick type.

Division 02 – Existing Conditions

3. Hazardous materials survey, removal and mitigation is not included.

Division 04 – Masonry

1. Brick veneer included as standard, modular size.
2. Brick veneer: \$350 per thousand. The specifications do not call out brick type.
3. See VA list for alternative masonry solutions.

Division 03 – Concrete

1. No moisture mitigation is included. If needed, the expense for moisture mitigation will first be drawn from Owner Direct Purchase budget. The reimbursement would be in the form of a change order from the Owner to the Construction Manager. If the Owner Direct Purchase savings is not sufficient to cover the cost for moisture mitigation, the Construction Manager’s Contingency (if remaining) shall cover the balance.
2. See VA list for alternative concrete solutions.

Division 05 – Steel

1. Steel angle rails are located at both sides of the hall in the mezzanines. We assume all the locations where steel angle rails are depicted (4/A4.2) are also Type 10 walls (with gypsum-sheathed walls). See VA list for reduction of the steel rails. If VA taken, wood rails have been added to the mezzanine in the Administrative area as fall protection.
2. Price does not include 16-guage top cord minimum per note 7/S0.1. We will provide a sealed letter of engineering deck attachment method to meet the project design and wind loads as done on Kate Smith and Hamilton Elementary Schools. Also, we assume hips, ridges, and valleys to be 12Ga bent plate.
3. See VA list for alternative steel/truss solutions.

Division 07 – Thermal and Moisture Protection

1. Spray-applied fireproofing is not required, nor included in the GMP.
2. The basis of design roof system included as Peterson Tite-Lok Plus Kynar standing seam metal roof over high temperature peel & stick underlayment over two layers of 2.6" polyisocyanurate insulation.
3. See VA list for alternative roof panel system.
4. Roof system includes the specified 20-year manufacturer's warranty.
5. Roof system includes a two-year Contractor's Workmanship Warranty.

Division 08 – Openings

1. Exterior windows are included with non-impact rated glazing.
2. Overhead coiling doors are Cornell ESD20.

Division 09 – Finishes

1. Hard tile is not anticipated at any walls.
2. See VA list for alternative flooring products.

Division 10 – Specialties

1. Exterior lettering at the main entrance to be cast aluminum.
2. Street sign: Daktronics Galaxy Outdoor Message Center
3. Operable partitions are not included.
4. New walkway covers included as clear anodized aluminum finish. No veneer/column wraps are anticipated or included.

Division 11 – Equipment

1. Appliances are indicated to be OFOI and are therefore excluded.
2. Exterior playground /recreation equipment is not included.
3. Only the site furnishing specifically called for CFCI in the plans are included.
4. Desks, chairs, tables, and loose furniture is not included.
5. See VA list for food service equipment allowance. The VA for this scope of work is an allowance.

Division 12 – Furnishings

1. Tables, desks, chairs, and other movable furniture is not included.

Division 21 – Fire Suppression

1. A wet-pipe fire sprinkler system is included throughout conditioned space and mezzanines.
2. A dry-pipe fire sprinkler system is included at loading dock.
3. No fire protection is included at the covered play area, canopies, or attics.
4. A fire-water booster pump is not included. We assume there will be sufficient water pressure, so a booster pump nor holding tank will not be necessary.
5. Signing and sealing of fire protection shop drawings is not included.

Division 22 – Plumbing

1. The sanitary, waste & vent system is PVC schedule 40 solid core. Domestic water piping and fittings are type L copper.
2. See VA list for alternative plumbing solutions.

Division 23 – HVAC

1. See VA list for alternative HVAC system solutions.

Division 26 – Electrical

6. Lightning protection is included.
7. Hikvision cameras are currently on a government blacklist. This GMP includes Hanwah/Samsung equipment in lieu of Hikvision.
8. See VA list for alternative electrical and low voltage solutions. The VA for this scope of work is an allowance.

Division 31 – Earthwork

1. This GMP does not include an allowance for removal and replacement of unsuitable material. If necessary, removal of unsuitable soils will cost will be calculated per \$12.50/CY – truck measure. Clean import fill to replace the unsuitable soils (if necessary) will be \$12.50/CY.
2. No rock excavation requiring more than standard machinery, or hauling is included.
3. Heavy duty and standard duty asphalt paving is included where indicated. The standard duty pavement will be installed in two 1” lifts to meet FDOT standards.

4. Aluminum canopy footings are assumed to be 3' x 3' x 3' until delegated design is complete.
5. The geotechnical report shows small potential for subterranean clays and karst formations (limerock chimneys or sinkholes). There is no way to accurately estimate the impact this will have. It is assumed that any unsuitable soils encountered will be able to be re-used on site in green areas. If not, the unit rates above would apply. Boulders or other underground issues are not included.
6. The addendum Geotechnical Report dated January 27, 2021 requires settlement plates to be installed for monitoring settlement during the import fill operation. This GMP does not include costs associated with delays that could occur due to settlement issues. Settlement plates and monitoring is included.
7. See Attachment B. The areas highlighted in yellow **are not** part of Phase 1. If Phase 2 is approved, the highlighted areas will be added to the Phase 2 scope of work.
8. See VA list for alternative sitework solutions.

Division 32 – Exterior Improvements

1. Sod has been included per C 301. All sod included is figured as Bahia. The civil drawings call for centipede, but centipede will not grow in this area; especially without irrigation. No other plantings or irrigation are included.
2. See VA list for alternative sodding solutions.
3. See VA list for modifications at perimeter fence. The VA for this scope of work is an allowance.
4. Fencing around ponds and mechanical equipment pads: galvanized.
5. Aluminum fencing withing this GMP includes Antebellum Manufacturing in lieu of Merchants Metals.
6. We have included a 4" salt and pepper well for temporary water. This can be left for the Owner's use upon completion of the project.

General Exclusions

1. Inspection Fees, Downstream Pollution Fees, Impact Fees, DOT Fees, and Meter Fees;
2. Initial surveys;
3. Jobsite trailers, besides for Construction Manager;
4. Dewatering for extreme weather conditions, including hurricanes;
5. Environmental insurance;
6. Builder's Risk claim deductibles;
7. Environmental surveys, soil borings, infiltration tests, traffic studies, tree and lot surveys;

8. Offsite utility work, except as specifically noted on plans;
9. Site electric primary lines, transformers, meters, or oversight of the utility company, including ordering of any of these items;
10. Hazardous waste removal or contaminated soil removal;
11. State fire marshal review or inspection fee;
12. Cost of easements and right-of-ways for utilities;
13. Permanent utility charges, deposits or costs (gas, power, phone, water, etc.);
14. Grassing or landscape maintenance;
15. Land cost;
16. Relocation cost;
17. Mockups;
18. Development fees;
19. Owner or designer contingencies;
20. Furnishing, fixtures & equipment



GMP VALUE ALTERNATES DETAILED DESCRIPTIONS

Division 01 – General Conditions

1. The value alternative items described in this list will be duplicated for Phase 2 if authorized by the owner at a future date.
2. VE 01.1 - Reimbursable GC's: The contract between Owner and Construction Manager dated September 8, 2020 defines the Construction Manager's General Conditions as lump sum (in lieu of reimbursable). As such, this VE 01.1 credits the Owner \$121,800 for an administrative assistant that will not longer be needed because the Construction Manager will not be responsible to compile documentation that would have been required for reimbursable General Conditions (because the General Conditions are now lump sum).

Division 04 – Masonry

1. VE 03.1 – Allowance to Use Masonry bond beams in lieu of cast-in-place concrete beams similar to previous CRA projects.
2. VE 03.1 – this is an allowance until the structural engineer has approved the extent and requirements of this scope modification.

Division 03 – Concrete

1. VE 03.1 – Allowance to Use Masonry bond beams in lieu of cast-in-place concrete beams similar to previous CRA projects.
2. VE 03.1 – this is an allowance until the structural engineer has approved the extent and requirements of this scope modification.

Division 05 – Steel

1. VE 05.1 – Guard rails & ladders at mezzanines above corridors: Delete angles in the mezzanine corridors since drywall is existing & change all aluminum ladder/rails to primed steel at the mezzanines. Wood rails have been added to the mezzanine in the Administrative area as fall protection in lieu of steel rails. Light gauge metal studs have been added as handrails in the mezzanine at the Media area for fall protection.

2. VE 05.2 – Pre-Engineered Metal Trusses - Use 12 Gauge Bent Metal in lieu of 1/4" bent plate at eaves, gable ends, and expansion joints.

Division 07 – Thermal and Moisture Protection

1. VE 07.1 - Metal Roofing - Use Peterson Roof Panels Snap Clad with Galvalume in lieu of Peterson Tite-Loc Plus roof and soffit system. VE 07.1 includes the specified 20-year manufacturer's warranty.

Division 09 – Finishes

1. VE 09.0 - Abusive resistant drywall - Remove abusive GWB below 8' and replace with standard GWB.
2. VE 09.1 - Alternative flooring products - Change LVT flooring from Tarkett Contour to Tarkett ID Latitudes.
3. VE 09.2 - Alternative flooring products - Change carpet from Tarkett Blocase to any of the following styles from Tarkett (Resonate, Capture, Substance, Vellim, Bindery or Stamp).
4. VE 09.3 - Alternative flooring products - Delete inside & outside corners of vinyl base
5. VE 09.4 - Alternative flooring products - Use Resinous Flooring (Dex-O-Tex Décor Flor) in lieu of tile in all bathroom floors and base.
6. VE 09.5 - Alternative flooring products - Use Resinous Flooring (Stonehard SLT 2MM Cobalt Medi) in lieu of quarry tile in the Kitchen.

Division 11 – Equipment

1. VE 11.1 - Alternate Manufacturers - Kitchen VA Allowance to use alternate equipment manufactures.

Division 22 – Plumbing

1. VE 22.1 - Use CPVC in lieu of copper piping.
2. VE 22.2 - Alternate Plumbing Manufactures - See Below

P101-Toilet, Flush Valve (V-151M) change from Sloan 113-1.28 to Zurn Z6000

P102-Toilet, Flush Valve (V-151M) change from Sloan 113-1.28 to Zurn Z6000

P251-Urinal, Flush Valve (V-251M) change from Sloan Weus 1000.1001-0.13 to Zurn Z6003

P403-Lavatory, Faucet (F403 change from Chicago 2200-4E2805ABCP to Zurn Z7440-XL

P405-Lavatory, Faucet (F411 change from Chicago 807-E12-665PAB to Zurn Z86300-XL

P407-Lavatory, Faucet (F411 change from Chicago 807-E12-665PAB to Zurn Z86300-XL

P501-Single Sink, Faucet (F405 change from Chicago 2302-ABCP to Zurn Z824BO-XL

P503-Double Sink, Faucet (F405 change from Chicago 2302-ABCP to Zurn Z824BO-XL

P520-Mop Sink, Faucet (F407 change from Chicago 540-LD-897-WXFABCP to Zurn Z843M1

P531-Single Sink Change Fixture from Elkay LRAD-1517 to Just SL-ADA-1815-A-GR,

P531-Single Sink, Faucet (F440 change from Chicago LWS1-A11-G to Zurn Z812B4-XL

P551-Single Sink, Faucet (F405 change from Chicago 2302-ABCP to Zurn Z824BO-XL

P551-Single Sink, Bubbler/Push (F415 change from Chicago 748-665ABCP to Zurn Z83600-XL

P552-Single Sink, Faucet (F417 change from Chicago 350-E35VP317XKABCP to Zurn Z825B4-XL

WH8.1 & 8.2-Water Heater Change fixture from A.O. Smith BTH 250 to Rheem GHESU/SS-250

WH1.1 thru 7.1-Water Heater Change fixture from A.O. Smith DEN 40 to Rheem ELD40-TB

3. VE 22.3 – Alternate Ball valves – Allowance to use different product than specified.
4. VE 22.4 – Eliminate LP Gas Tank from Construction Manager's scope. LP Gas Tanks now OFOI.

Division 23 – HVAC

VE 23.1 - This pricing reflects changes to the HVAC design taking notes from our past Value Alternative successes with H2 Engineering on multiple projects, including the Hamilton project V.E. that was approved by H2Engineering and CRA team. This VE 23.1 will require approval from the mechanical engineer prior to proceeding. The HVAC components have been altered as follows:

1. Changed Controls DDC system deleted in its entirety. We will provide Honeywell 8000 series Wi-Fi capable thermostats for all units with the exception of the MAU Units. This would allow the owner to remotely control this equipment (setpoints and schedules) MAU Units would be provided with factory controls with built in scheduling. Exhaust Fans would be interlocked with thermostat schedule or time clocks with the exception of fans that are interlocked with light switches or occupancy sensors by division 26 and fans serving kitchen equipment. Indoor above ceiling control wire will be plenum rated cable (not in conduit) including mezzanine levels. Concealed (In wall) and outdoor wiring will be EMT conduit with compression fittings.
2. Changed equipment quantities and capacities. Regarding A/C units serving classrooms and like spaces, one unit per two classrooms would be provided in lieu of one unit per classroom. This would require units to be upsized accordingly. Administration, Cafeteria, Auditorium, and other special use type spaces would remain as is. Alternate manufacturer units would be provided.

Bipolar Ionization units at each split system would be utilized to reduce the capacity of the MAU Units while satisfying air quality requirements. The estimated reduction in capacity has been provided by the engineer of record. VA pricing reflects this accordingly. MAU Equipment listed in the specifications would be provided, but not necessarily basis of design.

Pricing is based on the following MAU revised capacities:

-MAU-1.1 7 Tons

-MAU-2.1 20 Tons

-MAU-4.1, 5.1, 6.1-30 Tons

-MAU-8.1 Remains as designed-50 Tons

-MAU-7.1 15 Tons

3. Changed Ductwork layout and material (still metal, we do not recommend duct board)-The ductwork serving the classrooms would be changed to the following:
 - A) Snaplock round duct in lieu of rectangular and spiral ducts.
 - B) Alternate manufacturers for air distribution (grilles, registers, diffusers, and flexible ductwork.)
4. Changed Refrigerant Piping products. Pre-Insulated Soft Drawn Copper Line sets in lieu of hard drawn field insulated copper refrigerant piping. Exterior piping would remain hard drawn copper, but the aluminum jacketing would be deleted and replaced with two coats of Armaflex UV paint for protection of the exterior insulation. Insulation would be ¾ inch wall thickness.
5. Changed Insulation per revisions to duct and piping (See item 4 regarding piping insulation).
6. Simplified Test and Balance scope. Delete the requirement for return air grille balance. Dampers would be verified open and reading taken, but no balance at the grilles. Also, Commissioning participation deleted.
7. Delete BIM coordination and BIM 360 participation.
8. Change Grilles Registers and Diffusers to Painted Steel
9. Change Flexmaster IMR6 Duct to Atco 36.

Division 26 – Electrical

1. VE 26.1 - Electrical & Low Voltage VE Allowance's including: delete gear study, delete lightning protection, use MC for lighting/fire alarm, & VE for: gear, lighting, intercom, AV & CCTV

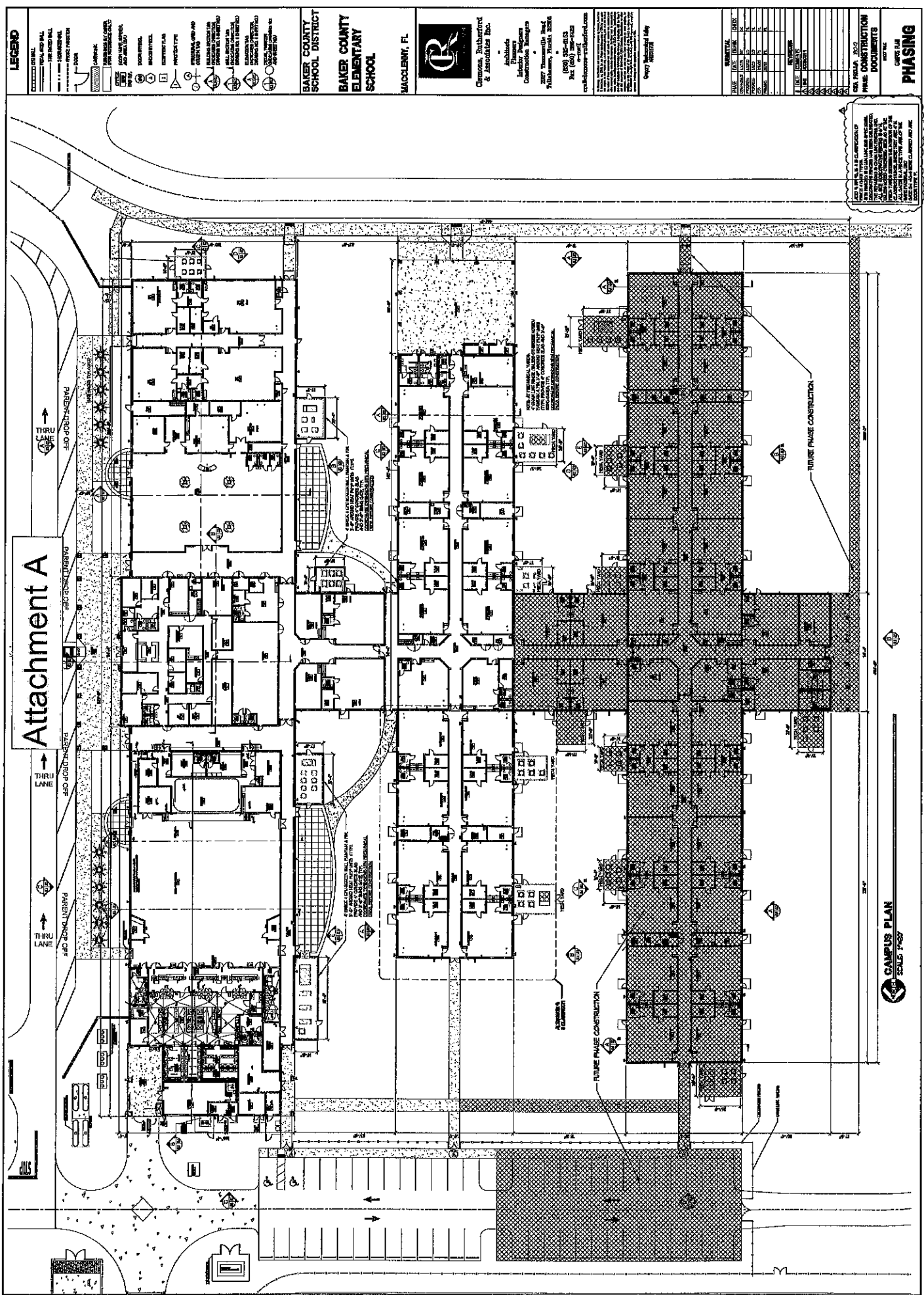
Division 31 – Earthwork

1. VE 31.1 - Use HDP (corrugated plastic) storm water piping in lieu of RCP (concrete pipe).

Division 32 – Exterior Improvements

1. VE 32.1 - Grass Seeding (Bahia) in lieu of Sodding (Bahia).
2. VE 32.2 - Reduce /Redesign Fencing around Retention. This eliminates the fencing on the back side of the ponds. This is an allowance.

Attachment A



LEGEND

- EXISTING CURB
- EXISTING SIDEWALK
- EXISTING DRIVE
- EXISTING LOT
- EXISTING PAVEMENT
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING BRICK
- EXISTING STONE
- EXISTING METAL
- EXISTING WOOD
- EXISTING GLASS
- EXISTING ROOF
- EXISTING FLOOR
- EXISTING WALL
- EXISTING DOOR
- EXISTING WINDOW
- EXISTING LIGHT
- EXISTING VENT
- EXISTING PIPE
- EXISTING DRAIN
- EXISTING SEWER
- EXISTING WATER
- EXISTING GAS
- EXISTING ELECTRIC
- EXISTING TELEPHONE
- EXISTING CABLE
- EXISTING SATELLITE
- EXISTING ANTENNA
- EXISTING SIGN
- EXISTING FENCE
- EXISTING GATE
- EXISTING POST
- EXISTING RAIL
- EXISTING TIE
- EXISTING NAIL
- EXISTING SCREW
- EXISTING BOLT
- EXISTING WELD
- EXISTING GLUE
- EXISTING ADHESIVE
- EXISTING SEALANT
- EXISTING PAINT
- EXISTING STAIN
- EXISTING FINISH
- EXISTING TRIM
- EXISTING MOLDING
- EXISTING CASING
- EXISTING BASE
- EXISTING CAP
- EXISTING END
- EXISTING JOINT
- EXISTING GROUT
- EXISTING MORTAR
- EXISTING PLASTER
- EXISTING STUCCO
- EXISTING GYPSUM
- EXISTING CONCRETE
- EXISTING ASPHALT
- EXISTING BRICK
- EXISTING STONE
- EXISTING METAL
- EXISTING WOOD
- EXISTING GLASS
- EXISTING ROOF
- EXISTING FLOOR
- EXISTING WALL
- EXISTING DOOR
- EXISTING WINDOW
- EXISTING LIGHT
- EXISTING VENT
- EXISTING PIPE
- EXISTING DRAIN
- EXISTING SEWER
- EXISTING WATER
- EXISTING GAS
- EXISTING ELECTRIC
- EXISTING TELEPHONE
- EXISTING CABLE
- EXISTING SATELLITE
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- EXISTING SCREW
- EXISTING BOLT
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- EXISTING ADHESIVE
- EXISTING SEALANT
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- EXISTING FINISH
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- EXISTING CASING
- EXISTING BASE
- EXISTING CAP
- EXISTING END
- EXISTING JOINT
- EXISTING GROUT
- EXISTING MORTAR
- EXISTING PLASTER
- EXISTING STUCCO
- EXISTING GYPSUM

BAKER COUNTY SCHOOL DISTRICT

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PHASE 1 CONSTRUCTION

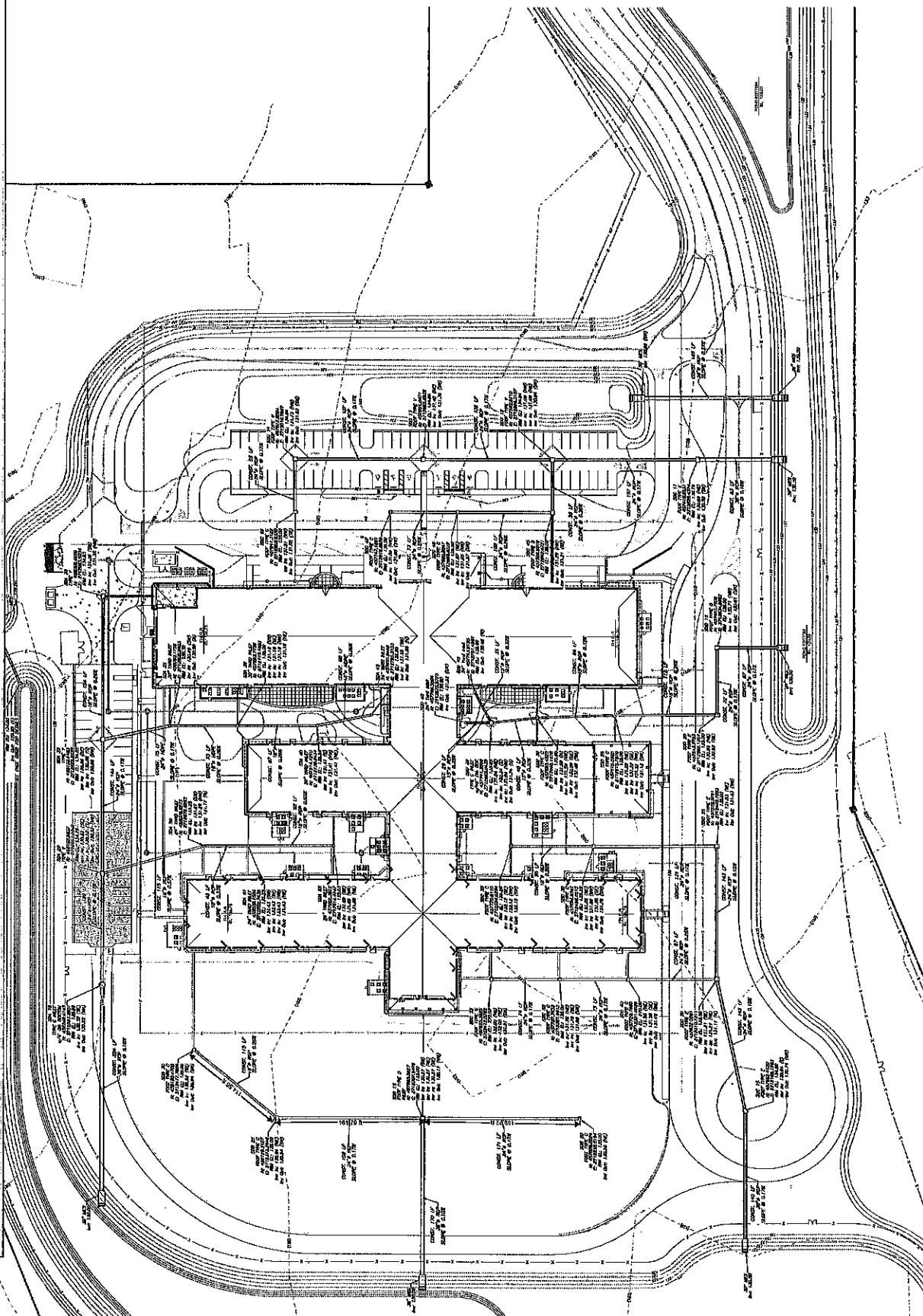
1. BUILDING FOOTPRINT
2. PARKING LOT
3. WALKWAY
4. LANDSCAPING
5. FENCE
6. GATE
7. POST
8. RAIL
9. TIE
10. NAIL
11. SCREW
12. BOLT
13. WELD
14. GLUE
15. ADHESIVE
16. SEALANT
17. PAINT
18. STAIN
19. FINISH
20. TRIM
21. MOLDING
22. CASING
23. BASE
24. CAP
25. END
26. JOINT
27. GROUT
28. MORTAR
29. PLASTER
30. STUCCO
31. GYPSUM

PHASE 2 CONSTRUCTION

1. BUILDING FOOTPRINT
2. PARKING LOT
3. WALKWAY
4. LANDSCAPING
5. FENCE
6. GATE
7. POST
8. RAIL
9. TIE
10. NAIL
11. SCREW
12. BOLT
13. WELD
14. GLUE
15. ADHESIVE
16. SEALANT
17. PAINT
18. STAIN
19. FINISH
20. TRIM
21. MOLDING
22. CASING
23. BASE
24. CAP
25. END
26. JOINT
27. GROUT
28. MORTAR
29. PLASTER
30. STUCCO
31. GYPSUM

PHASE 3 CONSTRUCTION

1. BUILDING FOOTPRINT
2. PARKING LOT
3. WALKWAY
4. LANDSCAPING
5. FENCE
6. GATE
7. POST
8. RAIL
9. TIE
10. NAIL
11. SCREW
12. BOLT
13. WELD
14. GLUE
15. ADHESIVE
16. SEALANT
17. PAINT
18. STAIN
19. FINISH
20. TRIM
21. MOLDING
22. CASING
23. BASE
24. CAP
25. END
26. JOINT
27. GROUT
28. MORTAR
29. PLASTER
30. STUCCO
31. GYPSUM

[illegible]

DRAINAGE PLAN
SCALE: 1" = 40'

C 601



GMP DOCUMENT LOG

Number	Name	Issue Date	Issue Description
	ADDENDA		
	ADDENDUM NO. 01 NARRATIVE – CRA ARCHITECTS	01/08/2021	ADDENDUM NO. 01
	ADDENDUM NO. 01 NARRATIVE – H2 ENGINEERING	01/08/2021	ADDENDUM NO. 01
	ADDENDUM NO. 02 NARRATIVE – CRA ARCHITECTS	01/15/2021	ADDENDUM NO. 02
	ADDENDUM NO. 02 NARRATIVE – H2 ENGINEERING	01/14/2021	ADDENDUM NO. 02
	DRAWINGS		
T-1	COVER SHEET AND INDEX OF DRAWINGS	12/16/2020	100% CD'S
PHASING	CAMPUS PLAN PHASING	02/21/2021	PHASING PLAN
CIVIL			
C001	INDEX PAGE	01/15/2021	ADDENDUM #2
C101	EXISTING CONDITIONS	12/16/2020	100% CD'S
C 201	EROSION CONTROL PLAN	01/15/2021	ADDENDUM #2
C 202	EROSION CONTROL DETAILS	12/16/2020	100% CD'S
C 301	SODDING MAP	12/16/2020	100% CD'S
C 302	WETLAND IMPACT MAP	12/16/2020	100% CD'S
C 401	OVERALL SITE PLAN	01/15/2021	ADDENDUM #2
C 402	TURN LANE SITE PLAN	01/15/2021	ADDENDUM #2
C 403	ENLARGED TURN LANE PLAN	01/15/2021	ADDENDUM #2
C 404	TURN LANE CROSS SECTIONS	01/15/2021	ADDENDUM #2
C 405	TURN LANE CROSS SECTIONS	01/15/2021	ADDENDUM #2
C 406	TURN LANE SIGNAGE AND STRIPING PLAN	01/15/2021	ADDENDUM #2
C 407	ENLARGED ENTRY ROADWAY PLAN	01/15/2021	ADDENDUM #2
C 408	ENLARGED ENTRY ROADWAY PLAN	12/16/2020	100% CD'S
C 409	OVERALL CAMPUS PLAN	01/15/2021	ADDENDUM #2
C 410	ENLARGED SITE PLAN	01/15/2021	ADDENDUM #2
C 411	ENLARGED SITE PLAN	01/15/2021	ADDENDUM #2
C 501	OVERALL GRADING PLAN	12/16/2020	100% CD'S
C 502	ENLARGED CAMPUS GRADING PLAN	01/15/2021	ADDENDUM #2
C 503	ENLARGED GRADING PLAN	01/15/2021	ADDENDUM #2
C 504	ENLARGED GRADING PLAN	01/15/2021	ADDENDUM #2
C 505	ADA RAMP DETAILS	01/15/2021	ADDENDUM #2
C 506	SWMF PLAN AND PROFILE	01/15/2021	ADDENDUM #2
C 507	SWMF PLAN AND PROFILE	01/15/2021	ADDENDUM #2
C 601	DRAINAGE PLAN	12/16/2020	100% CD'S

The School Board of Baker County, Florida – New Baker County Elementary School

GMP Document Log

Number	Name	Issue Date	Issue Description
C 602	DRAINAGE PLAN	01/15/2021	ADDENDUM #2
C 603	BLDG DOWNSPOUT PLAN	01/15/2021	ADDENDUM #2
C 604	BLDG DOWNSPOUT PLAN	01/15/2021	ADDENDUM #2
C 701	OVERALL UTILITY PLAN	01/15/2021	ADDENDUM #2
C 702	CAMPUS UTILITY PLAN	01/15/2021	ADDENDUM #2
C 703	ENLARGED UTILITY PLAN	01/15/2021	ADDENDUM #2
C 801	TYPICAL SITE DETAILS	12/16/2020	100% CD'S
C 802	TYPICAL STORM DETAILS	12/16/2020	100% CD'S
C 901	TYPICAL UTILITY DETAILS	12/16/2020	100% CD'S
C 902	PUMP STATION DETAILS	12/16/2020	100% CD'S
ARCHITECTURAL			
AS1.0	ARCHITECTURAL SITE PLAN	01/15/2021	ADDENDUM #2
LS1.0	LIFE SAFETY PLAN	12/16/2020	100% CD'S
LS1.1	ADMIN/MEDIA LIFE SAFETY PLAN	12/16/2020	100% CD'S
LS1.2	LIFE SAFETY PLAN CLASSROOM WING 3 & 4	12/16/2020	100% CD'S
LS1.3	LIFE SAFETY PLAN CLASSROOM WING 3 & 5	12/16/2020	100% CD'S
LS1.4	LIFE SAFETY PLAN CLASSROOM WING 6	12/16/2020	100% CD'S
LS1.5	LIFE SAFETY PLAN CLASSROOM WING 7	12/16/2020	100% CD'S
LS1.6	LIFE SAFETY PLAN CAFETERIA	12/16/2020	100% CD'S
A1.0	CAMPUS PLAN	01/08/2021	ADDENDUM #1
A1.0A	SITE DETAILS	12/16/2020	100% CD'S
A1.1	ADMIN & MEDIA FLOOR PLANS	12/16/2020	100% CD'S
A1.2	CLASSROOM WING 3 & 4 & COVERED PLAY	12/16/2020	100% CD'S
A1.3	CLASSROOM WINGS 3 & 5	12/16/2020	100% CD'S
A1.4	CLASSROOM WING 6	12/16/2020	100% CD'S
A1.5	CLASSROOM WING 7	12/16/2020	100% CD'S
A1.6	CAFETERIA FLOOR PLAN	01/15/2021	ADDENDUM #2
A2.1	ADMIN, MEDIA & CAFETERIA ELEVATIONS	12/16/2020	100% CD'S
A2.2	MEDIA/ESE WING 200, 400 & 500ELEVATIONS	12/16/2020	100% CD'S
A2.3	WINGS 500, 600 & 700 CAFETERIA WING 800 ELEVATIONS	12/16/2020	100% CD'S
A2.4	WING 600 & 700 ELEVATIONS	12/16/2020	100% CD'S
A3.1	BUILDING CROSS SECTIONS	12/16/2020	100% CD'S
A3.2	BUILDING CROSS SECTIONS & COVERED PLAY FLOOR PLAN	12/16/2020	100% CD'S
A3.3	BUILDING CROSS SECTIONS CAFETORIUM BLDG-	12/16/2020	100% CD'S
A4.0	PLAN SECTIONS AND DETAILS	12/16/2020	100% CD'S
A4.1	WALL PARTITIONS AND DETAILS	12/16/2020	100% CD'S
A4.2	WALL SECTIONS	12/16/2020	100% CD'S
A4.3	WALL SECTIONS	12/16/2020	100% CD'S
A4.4	WALL SECTIONS	12/16/2020	100% CD'S
A5.1	ENLARGED TOILET PLANS	12/16/2020	100% CD'S
A6.1	MILLWORK ELEVATIONS	12/16/2020	100% CD'S
A6.2	MILLWORK DETAILS	12/16/2020	100% CD'S
A6.3	INTERIOR ELEVATIONS	12/16/2020	100% CD'S
A6.4	INTERIOR ELEVATIONS	12/16/2020	100% CD'S

The School Board of Baker County, Florida – New Baker County Elementary School

GMP Document Log

Number	Name	Issue Date	Issue Description
A6.5	INTERIOR ELEVATIONS	12/16/2020	100% CD'S
A7.1	WINDOW AND DOOR ELEVATIONS	12/16/2020	100% CD'S
A7.2	WINDOW AND DOOR DETAILS	12/16/2020	100% CD'S
A8.1	ADMIN & MEDIA REFLECTED CEILING PLANS	12/16/2020	100% CD'S
A8.2	CLASSROOM WING 3 & 4 REFLECTED CEILING PLANS	12/16/2020	100% CD'S
A8.3	CLASSROOM WING 3 & 5 REFLECTED CEILING PLANS	12/16/2020	100% CD'S
A8.4	CLASSROOM WING 6 REFLECTED CEILING PLANS	12/16/2020	100% CD'S
A8.5	CLASSROOM WING 7 REFLECTED CEILING PLANS	12/16/2020	100% CD'S
A8.6	CAFETERIA REFLECTED CEILING PLANS	12/16/2020	100% CD'S
A8.7	CEILING FRAMING DETAILS	12/16/2020	100% CD'S
A9.1	ROOF PLAN	12/16/2020	100% CD'S
A9.2	MEZZANINE PLAN	01/08/2021	ADDENDUM #1
A9.3	ROOF DETAILS	12/16/2020	100% CD'S
A10.1	ADMIN & MEDIA - FINISH PLAN	12/16/2020	100% CD'S
A10.1A	ADMIN & MEDIA - FLOOR PATTERN PLAN	12/16/2020	100% CD'S
A10.2	CLASSROOM WING 3 & 4 - FINISH PLAN	12/16/2020	100% CD'S
A10.2A	CLASSROOM WINGS 3 & 4 - FLOOR PATTERN PLAN	12/16/2020	100% CD'S
A10.3	CLASSROOM WING 4 - FINISH PLAN	12/16/2020	100% CD'S
A10.3A	CLASSROOM WING 3 & 5 - FLOOR PATTERN PLAN	12/16/2020	100% CD'S
A10.4	CLASSROOM WING 6 FINISH PLAN	12/16/2020	100% CD'S
A10.4A	CLASSROOM WING 6 FLOOR PATTERN PLAN	12/16/2020	100% CD'S
A10.5	CLASSROOM WING 7 FINISH PLAN	12/16/2020	100% CD'S
A10.5A	CLASSROOM WING 7 FLOOR PATTERN PLAN	12/16/2020	100% CD'S
A10.6	CAFETERIA - FINISH PLAN	12/16/2020	100% CD'S
A10.6A	CAFETERIA - FLOOR PATTERN PLAN	12/16/2020	100% CD'S
A11.1	ADMIN & MEDIA FURNITURE & EQUIPMENT PLANS	12/16/2020	100% CD'S
A11.2	CLASSROOM WING 3 & 4 & COVERED PLAY FURNITURE & EQUIPMENT PLANS	12/16/2020	100% CD'S
A11.3	CLASSROOM WINGS 3 & 5 FURNITURE & EQUIPMENT PLANS	12/16/2020	100% CD'S
A11.4	CLASSROOM WING 6 FURNITURE & EQUIPMENT PLANS	12/16/2020	100% CD'S
A11.5	CLASSROOM WING 7 FURNITURE & EQUIPMENT PLANS	12/16/2020	100% CD'S
A11.6	CAFETERIA FLOOR PLAN FURNITURE AND EQUIPMENT PLANS	12/16/2020	100% CD'S
STRUCTURAL			
S0.1	GENERAL STRUCTURAL NOTES	12/16/2020	100% CD'S
S0.2	DETAILS	12/16/2020	100% CD'S
S0.3	SECTIONS	01/15/2021	ADDENDUM #2
S0.4	SECTIONS	01/15/2021	ADDENDUM #2
S0.5	SECTIONS	12/16/2020	100% CD'S
S1.1	ADMINISTRATION FOUNDATION PLAN	12/16/2020	100% CD'S
S1.2	ADMINISTRATION LOW ROOF & MEZZANINE FRAMING PLAN	12/16/2020	100% CD'S
S1.3	ADMINISTRATION ROOF FRAMING PLAN	12/16/2020	100% CD'S
S2.1	MEDIA/ESE FOUNDATION PLAN	12/16/2020	100% CD'S
S2.2	MEDIA/ESE LOW ROOF & MEZZANINE FRAMING PLAN	12/16/2020	100% CD'S
S2.3	MEDIA/ESE ROOF FRAMING PLAN	12/16/2020	100% CD'S

The School Board of Baker County, Florida – New Baker County Elementary School

GMP Document Log

Number	Name	Issue Date	Issue Description
S3.1	CLASSROOM WINGS 300 & 400 FOUNDATION PLAN	12/16/2020	100% CD'S
S3.2	CLASSROOM WINGS 300 & 400 ROOF FRAMING PLAN	01/15/2021	ADDENDUM #2
S4.1	CLASSROOM WINGS 300 & 500 FOUNDATION PLAN	12/16/2020	100% CD'S
S4.2	CLASSROOM WINGS 300 & 500 ROOF FRAMING PLAN	01/15/2021	ADDENDUM #2
S5.1	CLASSROOM WING 600 FOUNDATION PLAN	12/16/2020	100% CD'S
S5.2	CLASSROOM WING 600 ROOF FRAMING PLAN	01/15/2021	ADDENDUM #2
S6.1	CLASSROOM WING 700 FOUNDATION PLAN	12/16/2020	100% CD'S
S6.2	CLASSROOM WING 700 ROOF FRAMING PLAN	01/15/2021	ADDENDUM #2
S7.1	CAFETERIA/CUSTODIAL FOUNDATION PLAN	01/15/2021	ADDENDUM #2
S7.2	CAFETERIA/CUSTODIAL ROOF FRAMING PLAN	12/16/2020	100% CD'S
MECHANICAL			
M0.1	GENERAL NOTES, LEGEND AND SCHEDULES - HVAC	12/16/2020	100% CD'S
M0.2	SCHEDULES - HVAC	12/16/2020	100% CD'S
M0.3	SCHEDULES - HVAC	12/16/2020	100% CD'S
M1.1	ADMINISTRATION AND MEDIA FLOOR PLANS -HVAC		ADDENDUM #1
M1.2	CLASSROOM FLOOR PLAN - WING 3 & 4 - HVAC	12/16/2020	100% CD'S
M1.3	CLASSROOM FLOOR PLAN - WING 5 - HVAC	12/16/2020	100% CD'S
M1.4	CLASSROOM FLOOR PLAN - WING 6 - HVAC	12/16/2020	100% CD'S
M1.5	CLASSROOM FLOOR PLAN - WING 7 - HVAC	12/16/2020	100% CD'S
M1.6	CAFETERIA FLOOR PLAN- HVAC		ADDENDUM #1
M1.7	ENLARGED CAFETERIA FLOOR PLAN - HVAC		ADDENDUM #1
M2.1	SECTIONS - HVAC	12/16/2020	100% CD'S
M5.1	DETAILS - HVAC	12/16/2020	100% CD'S
M5.2	DETAILS - HVAC	12/16/2020	100% CD'S
CONTROLS			
IC0.1	GENERAL NOTES, LEGEND AND DETAILS-CONTROLS	12/16/2020	100% CD'S
IC1.1	ADMINISTRATION AND MEDIA FLOOR PLAN - CONTROLS	12/16/2020	100% CD'S
IC1.2	CLASSROOM FLOOR PLAN - WING 3 & 4 - CONTROLS	12/16/2020	100% CD'S
IC1.3	CLASSROOM FLOOR PLAN - WING 5 - CONTROLS	12/16/2020	100% CD'S
IC1.4	CLASSROOM FLOOR PLAN - WING 6 - CONTROLS	12/16/2020	100% CD'S
IC1.5	CLASSROOM FLOOR PLAN - WING 7 - CONTROLS	12/16/2020	100% CD'S
IC1.6	CAFETERIA FLOOR PLAN - CONTROLS	12/16/2020	100% CD'S
IC2.1	CONTROLS - HVAC	01/08/2021	ADDENDUM #1
IC2.2	CONTROLS - HVAC	12/16/2020	100% CD'S
PLUMBING			
P0.1	GENERAL NOTES, LEGENDS AND SCHEDULES - PLUMBING	01/15/2021	ADDENDUM #2
P1.0	CAMPUS PLAN - PLUMBING	12/16/2020	100% CD'S
P1.1	ADMINISTRATION AND MEDIA FLOOR PLANS -PLUMBING	01/08/2021	ADDENDUM #1
P1.2	CLASSROOM FLOOR PLAN - WING 4 - PLUMBING	01/08/2021	ADDENDUM #1
P1.3	CLASSROOM FLOOR PLAN - WING 5 - PLUMBING	01/15/2021	ADDENDUM #2
P1.4	CLASSROOM FLOOR PLAN - WING 6 - PLUMBING	12/16/2020	100% CD'S
P1.5	CLASSROOM FLOOR PLAN - WING 7 - PLUMBING	01/08/2021	ADDENDUM #1

The School Board of Baker County, Florida – New Baker County Elementary School

GMP Document Log

Number	Name	Issue Date	Issue Description
P1.6	CAFETERIA FLOOR PLAN -PLUMBING	01/15/2021	ADDENDUM #2
P3.1	ENLARGED FLOOR PLANS -PLUMBING	01/15/2021	ADDENDUM #2
P3.2	ENLARGED FLOOR PLANS -PLUMBING	01/15/2021	ADDENDUM #2
P3.3	ENLARGED FLOOR PLANS -PLUMBING	01/15/2021	ADDENDUM #2
P5.1	DETAILS - PLUMBING	01/15/2021	ADDENDUM #2
P6.1	ISOMETRICS - PLUMBING	01/08/2021	ADDENDUM #1
P6.2	ISOMETRICS - PLUMBING	12/16/2020	100% CD'S
P6.3	ISOMETRICS - PLUMBING	12/16/2020	100% CD'S
P6.4	ISOMETRICS - PLUMBING	12/16/2020	100% CD'S
FIRE PROTECTION			
F0.1	GENERAL NOTES, LEGEND AND SCHEDULES - FIRE PROTECTION	12/16/2020	100% CD'S
F1.0	CAMPUS PLAN - FIRE PROTECTION	12/16/2020	100% CD'S
F1.1	ADMINISTRATION AND MEDIA FLOOR PLANS - FIRE PROTECTION	12/16/2020	100% CD'S
F1.2	CLASSROOM FLOOR PLAN -WING 4 - FIRE PROTECTION	12/16/2020	100% CD'S
F1.3	CLASSROOM FLOOR PLAN -WING 6 - FIRE PROTECTION	12/16/2020	100% CD'S
F1.4	CLASSROOM FLOOR PLAN -WING 6 - FIRE PROTECTION	12/16/2020	100% CD'S
F1.5	CLASSROOM FLOOR PLAN -WING 7 - FIRE PROTECTION	12/16/2020	100% CD'S
F1.6	CAFETERIA FLOOR PLAN - FIRE PROTECTION	12/16/2020	100% CD'S
F5.1	DETAILS - FIRE PROTECTION	12/16/2020	100% CD'S
FOOD SERVICE			
FS1.1	ENLARGED KITCHEN PLAN	01/08/2021	ADDENDUM #1
FS1.2	DETAILS	12/16/2020	100% CD'S
FS1.3	DETAILS	12/16/2020	100% CD'S
FS1.4	DETAILS	12/16/2020	100% CD'S
FS1.5	DETAILS	01/08/2021	ADDENDUM #1
ELECTRICAL			
E0.1	GENERAL NOTES LEGEND AND SCHEDULE	12/16/2020	100% CD'S
E1.0	SITE PLAN - ELECTRICAL	01/15/2021	ADDENDUM #2
E1.1	ADMINISTRATION AND MEDIA FLOOR PLANS -LIGHTING	12/16/2020	100% CD'S
E1.2	CLASSROOM FLOOR PLAN - WING 4 - LIGHTING	12/16/2020	100% CD'S
E1.3	CLASSROOM FLOOR PLAN - WING 5 - LIGHTING	12/16/2020	100% CD'S
E1.4	CLASSROOM FLOOR PLAN - WING 6 - LIGHTING	12/16/2020	100% CD'S
E1.5	CLASSROOM FLOOR PLAN - WING 7 - LIGHTING	12/16/2020	100% CD'S
E1.6	CAFETERIA FLOOR PLAN -LIGHTING	12/16/2020	100% CD'S
E1.7	MEZZANINE FLOOR PLAN -ELECTRICAL	01/15/2021	ADDENDUM #2
E1.8	MEZZANINE FLOOR PLAN -EQUIPMENT	01/08/2021	ADDENDUM #1
E2.1	ADMINISTRATION AND MEDIA FLOOR PLANS -POWER	01/08/2021	ADDENDUM #1
E2.2	CLASSROOM FLOOR PLAN - WING 4 - POWER	01/15/2021	ADDENDUM #2
E2.3	CLASSROOM FLOOR PLAN - WING 5 - POWER	01/08/2021	ADDENDUM #1
E2.4	CLASSROOM FLOOR PLAN - WING 6 - POWER	12/16/2020	100% CD'S
E2.5	CLASSROOM FLOOR PLAN - WING 7 - POWER	12/16/2020	100% CD'S
E2.6	CAFETERIA FLOOR PLAN -POWER	01/08/2021	ADDENDUM #1

The School Board of Baker County, Florida – New Baker County Elementary School

GMP Document Log

Number	Name	Issue Date	Issue Description
E2.7	ENLARGED KITCHEN PLAN - POWER	01/08/2021	ADDENDUM #1
E3.1	CAMPUS PLAN - LIGHTNING PROTECTION	12/16/2020	100% CD'S
E4.1	ONE-LINE DIAGRAM	01/15/2021	ADDENDUM #2
E4.2	PANEL SCHEDULES - ELECTRICAL	01/15/2021	ADDENDUM #2
E4.3	PANEL SCHEDULES - ELECTRICAL	01/08/2021	ADDENDUM #1
E4.4	PANEL SCHEDULES - ELECTRICAL	01/15/2021	ADDENDUM #2
E4.5	GROUNDING DIAGRAM - ELECTRICAL	12/16/2020	100% CD'S
E4.6	FIRE ALARM RISER DIAGRAM	12/16/2020	100% CD'S
E5.1	DETAILS - ELECTRICAL	12/16/2020	100% CD'S
E5.2	DETAILS - ELECTRICAL	12/16/2020	100% CD'S
TELECOM			
T0.1	GENERAL NOTES, LEGEND, AND DETAILS - TELECOMMUNICATIONS	01/08/2021	ADDENDUM #1
T1.1	ADMINISTRATION AND MEDIA FLOOR PLANS - TELECOMMUNICATIONS	01/08/2021	ADDENDUM #1
T1.2	CLASSROOM FLOOR PLAN -WING 4 -TELECOMMUNICATIONS	12/16/2020	100% CD'S
T1.3	CLASSROOM FLOOR PLAN -WING 5 -TELECOMMUNICATIONS	12/16/2020	100% CD'S
T1.4	CLASSROOM FLOOR PLAN -WING 6 -TELECOMMUNICATIONS	12/16/2020	100% CD'S
T1.5	CLASSROOM FLOOR PLAN -WING 7 -TELECOMMUNICATIONS	01/08/2021	ADDENDUM #1
T1.6	CAFETERIA FLOOR PLAN - TELECOMMUNICATIONS	12/16/2020	100% CD'S
T1.7	ENLARGED COMM ROOM FLOOR PLANS - TELECOMMUNICATIONS	12/16/2020	100% CD'S
T2.1	RISER DIAGRAM AND RACK ELEVATIONS - TELECOMMUNICATIONS	12/16/2020	100% CD'S
T2.2	EMERGENCY RESPONDER 2-WAY RADIO DETAILS	12/16/2020	100% CD'S
SECURITY			
SE0.1	GENERAL NOTES, LEGEND, AND RISER DIAGRAM -SECURITY	12/16/2020	100% CD'S
SE0.2	DOOR SECURITY DEVICE ROUGH-IN DETAILS	12/16/2020	100% CD'S
SE1.0	SITE PLAN - SECURITY	12/16/2020	100% CD'S
SE1.1	ADMINISTRATION AND MEDIA - SECURITY	12/16/2020	100% CD'S
SE1.2	CLASSROOM FLOOR PLAN - WING 4 - SECURITY	12/16/2020	100% CD'S
SE1.3	CLASSROOM FLOOR PLAN - WING 5 - SECURITY	12/16/2020	100% CD'S
SE1.4	CLASSROOM FLOOR PLAN - WING 6 - SECURITY	12/16/2020	100% CD'S
SE1.5	CLASSROOM FLOOR PLAN - WING 7 - SECURITY	12/16/2020	100% CD'S
SE1.6	CAFETERIA FLOOR PLAN -SECURITY	12/16/2020	100% CD'S
SE2.0	DETAILS - SECURITY	01/08/2021	ADDENDUM #1
AUDIO VISUAL			
AV0.1	GENERAL NOTES, LEGEND, AND DETAILS - AUDIO-VIDEO	12/16/2020	100% CD'S
AV1.1	ADMINISTRATION AND MEDIA FLOOR PLANS - AUDIO-VIDEO	12/16/2020	100% CD'S
AV1.2	CLASSROOM FLOOR PLAN - WING 4 - AUDIO-VIDEO	12/16/2020	100% CD'S
AV1.3	CLASSROOM FLOOR PLAN - WING 5 - AUDIO-VIDEO	12/16/2020	100% CD'S
AV1.4	CLASSROOM FLOOR PLAN - WING 6 - AUDIO-VIDEO	12/16/2020	100% CD'S
AV1.5	CLASSROOM FLOOR PLAN - WING 7 - AUDIO-VIDEO	12/16/2020	100% CD'S
AV1.6	CAFETERIA FLOOR PLAN -AUDIO-VIDEO	12/16/2020	100% CD'S

The School Board of Baker County, Florida – New Baker County Elementary School

GMP Document Log

Number	Name	Issue Date	Issue Description
	PROJECT SPECIFICATIONS VOL. 1 & 2		
DIVISION 01	GENERAL REQUIREMENTS		
01 10 00	SUMMARY OF WORK	12/16/2020	100% CD'S
01 21 00	ALLOWANCES	12/16/2020	100% CD'S
01 21 50	THRESHOLD INSPECTION PLAN	12/16/2020	100% CD'S
01 23 00	ALTERNATES	12/16/2020	100% CD'S
01 25 00	SUBSTITUTIONS PROCEDURES	12/16/2020	100% CD'S
01 29 00	PAYMENT PROCEDURES	12/16/2020	100% CD'S
01 31 00	PROJECT COORDINATION	12/16/2020	100% CD'S
01 32 00	PROJECT MEETINGS	12/16/2020	100% CD'S
01 33 00	SUBMITTALS	12/16/2020	100% CD'S
01 40 00	QUALITY REQUIREMENTS	12/16/2020	100% CD'S
01 42 00	DEFINITIONS AND STANDARDS	12/16/2020	100% CD'S
01 50 00	TEMPORARY FACILITIES	12/16/2020	100% CD'S
01 55 00	MATERIALS AND EQUIPMENT	12/16/2020	100% CD'S
01 77 00	CLOSEOUT PROCEDURES	12/16/2020	100% CD'S
01 78 00	WARRANTIES AND BONDS	12/16/2020	100% CD'S
01 81 13	SUSTAINABLE DESIGN REQUIREMENTS	12/16/2020	100% CD'S
DIVISION 02	EXISTING CONDITIONS		
02 02 05	DEMOLITION	12/16/2020	100% CD'S
02 30 00	GEOTECHNICAL DATA (W/ ATTACHED REPORTS)	12/16/2020	100% CD'S
DIVISION 03	CONCRETE		
03 03 20	CONCRETE WORK – GENERAL (CIVIL)	12/16/2020	100% CD'S
03 03 41	PRECAST CONCRETE STRUCTURES	12/16/2020	100% CD'S
03 30 00	BUILDING CONCRETE WORK	12/16/2020	100% CD'S
DIVISION 04	MASONRY		
04 20 00	UNIT MASONRY	12/16/2020	100% CD'S
04 21 13	BRICK MASONRY	12/16/2020	100% CD'S
DIVISION 05	METALS		
05 12 00	STRUCTURAL STEEL	12/16/2020	100% CD'S
05 21 00	STEEL JOIST	12/16/2020	100% CD'S
05 53 00	METAL DECKING	12/16/2020	100% CD'S
05 40 00	COLD FORMED METAL FRAMING	12/16/2020	100% CD'S
05 50 00	METAL FABRICATIONS	12/16/2020	100% CD'S

The School Board of Baker County, Florida – New Baker County Elementary School

GMP Document Log

Number	Name	Issue Date	Issue Description
05 51 16	FIXED ALUMINUM INDUSTRIAL STAIR	01/08/2021	ADDENDUM #1
<u>DIVISION 06</u>	<u>WOOD, PLASTICS AND COMPOSITES</u>		
06 10 00	ROUGH CARPENTRY	12/16/2020	100% CD'S
06 40 00	PLASTIC LAMINATE CLAD FIXED CABINETS	12/16/2020	100% CD'S
06 40 23	DECORATIVE PLASTIC LAMINATE PILASTERS AND WALL TREATMENTS	12/16/2020	100% CD'S
06 65 10	SOLID SURFACE FABRICATIONS	12/16/2020	100% CD'S
<u>DIVISION 07</u>	<u>MOISTURE PROTECTION</u>		
07 11 13	BITUMINOUS DAMPROOFING	12/16/2020	100% CD'S
07 13 26	SHEET MEMBRANE WATERPROOFING	12/16/2020	100% CD'S
07 21 00	BUILDING INSULATION	12/16/2020	100% CD'S
07 41 13	PREFORMED WALL AND ROOF PANELS	12/16/2020	100% CD'S
07 62 00	FLASHING & SHEET METAL	12/16/2020	100% CD'S
07 81 00	FIRESTOPPING	12/16/2020	100% CD'S
07 92 00	JOINT SEALANTS	12/16/2020	100% CD'S
07 95 00	EXPANSION CONTROL	12/16/2020	100% CD'S
<u>DIVISION 08</u>	<u>OPENINGS</u>		
08 05 00	DOOR SCHEDULE	12/16/2020	100% CD'S
08 11 13	HOLLOW METAL DOOR AND FRAMES	12/16/2020	100% CD'S
08 14 16	FLUSH WOOD DOORS	12/16/2020	100% CD'S
08 31 13	ACCESS DOORS AND FRAMES	12/16/2020	100% CD'S
08 33 33	OVERHEAD DOORS	12/16/2020	100% CD'S
08 41 00	ALUMINUM ENTRANCES AND STOREFRONTS	12/16/2020	100% CD'S
08 51 13	ALUMINUM WINDOWS	12/16/2020	100% CD'S
08 71 00	DOOR HARDWARE	12/16/2020	100% CD'S
08 80 00	GLASS AND GLAZING	12/16/2020	100% CD'S
<u>DIVISION 09</u>	<u>FINISHES</u>		
09 29 00	GYPSUM DRYWALL	12/16/2020	100% CD'S
09 30 00	TILE	12/16/2020	100% CD'S
09 51 00	ACOUSTICAL CEILINGS	12/16/2020	100% CD'S
09 65 00	RESILIENT TILE FLOORING	12/16/2020	100% CD'S
09 65 13	RESILIENT WALL BASE AND STAIR TREADS	12/16/2020	100% CD'S
09 65 33	ELECTRO STATIC DISCHARGE VINYL TILE	12/16/2020	100% CD'S
09 67 00	SPECIAL COATING FOR CONCRETE	12/16/2020	100% CD'S
09 68 16	CARPETING	12/16/2020	100% CD'S

The School Board of Baker County, Florida – New Baker County Elementary School

GMP Document Log

Number	Name	Issue Date	Issue Description
09 71 00	ACOUSTICAL WALL PANELS	12/16/2020	100% CD'S
09 91 00	PAINTING	12/16/2020	100% CD'S
DIVISION 10	SPECIALTIES		
10 10 00	MARKERBOARDS, TACKBOARDS AND DISPLAY RAILS	12/16/2020	100% CD'S
10 16 00	TOILET PARTITIONS	12/16/2020	100% CD'S
10 26 00	CORNER GUARDS	12/16/2020	100% CD'S
10 28 00	TOILET AND BATH ACCESSORIES	12/16/2020	100% CD'S
10 44 16	FIRE EXTINGUISHERS, CABINETS AND ACCESSORIES	12/16/2020	100% CD'S
10 50 50	HEAVY DUTY STEEL LOCKERS	12/16/2020	100% CD'S
10 53 10	ALUMINUM WALKWAY CANOPY SYSTEM	12/16/2020	100% CD'S
10 99 00	MISCELLANEOUS SPECIALTIES	01/15/2021	ADDENDUM #2
DIVISION 11	EQUIPMENT		
11 13 20	PROJECTION SCREEN	12/16/2020	100% CD'S
11 40 00	FOOD SERVICE	01/08/2021	ADDENDUM #1
11 61 43	STAGE CURTAINS	12/16/2020	100% CD'S
DIVISION 13	SPECIAL CONSTRUCTION – N/A		
13 06 50	BULLET RESISTANT WOOD DOOR & FRAME ASSEMBLY	12/16/2020	100% CD'S
13 06 51	BULLET RESISTANT ACRYLIC GLAZING	12/16/2020	100% CD'S
13 06 52	RECESSED DECK TRAY WITH BULLET TRAP	12/16/2020	100% CD'S
DIVISION 21	FIRE SUPPRESSION		
21 01 00	GENERAL PROVISIONS FOR FIRE SUPPRESSION	12/16/2020	100% CD'S
21 05 17	SLEEVES AND SLEEVE SEALS FOR FIRE-SUPPRESSION PIPING	12/16/2020	100% CD'S
21 05 18	ESCUTCHEONS FOR FIRE-SUPPRESSION PIPING	12/16/2020	100% CD'S
21 05 23	GENERAL-DUTY VALVES FOR FIRE PROTECTION PIPING	12/16/2020	100% CD'S
21 05 29	HANGERS AND SUPPORTS FOR FIRE SUPPRESSION PIPING AND EQUIPMENT	12/16/2020	100% CD'S
21 05 53	IDENTIFICATION FOR FIRE-SUPPRESSION PIPING AND EQUIPMENT	12/16/2020	100% CD'S
21 11 00	FACILITY FIRE-SUPPRESSION WATER-SERVICE PIPING	12/16/2020	100% CD'S
21 11 19	FIRE DEPARTMENT CONNECTIONS	12/16/2020	100% CD'S
21 13 13	WET-PIPE SPRINKLER SYSTEMS	12/16/2020	100% CD'S
21 13 16	DRY-PIPE SPRINKLER SYSTEMS	12/16/2020	100% CD'S
DIVISION 22	PLUMBING		
22 01 00	GENERAL PROVISIONS FOR PLUMBING	12/16/2020	100% CD'S
22 05 13	COMMON MOTOR REQUIREMENTS FOR PLUMBING EQUIPMENT	12/16/2020	100% CD'S

The School Board of Baker County, Florida – New Baker County Elementary School

GMP Document Log

Number	Name	Issue Date	Issue Description
22 05 16	EXPANSION FITTINGS AND LOOPS FOR PLUMBING PIPING	12/16/2020	100% CD'S
22 05 17	SLEEVES AND SLEEVE SEALS FOR PLUMBING PIPING	12/16/2020	100% CD'S
22 05 18	ESCUTCHEONS FOR PLUMBING PIPING	12/16/2020	100% CD'S
22 05 19	METERS AND GAGES FOR PLUMBING PIPING	12/16/2020	100% CD'S
22 05 23.12	BALL VALVES FOR PLUMBING PIPING	12/16/2020	100% CD'S
22 05 23.13	BUTTERFLY VALVES FOR PLUMBING PIPING	12/16/2020	100% CD'S
22 05 23.14	CHECK VALVES FOR PLUMBING PIPING	12/16/2020	100% CD'S
22 05 29	HANGERS AND SUPPORTS FOR PLUMBING PIPING AND EQUIPMENT	12/16/2020	100% CD'S
22 05 48.13	VIBRATION CONTROLS FOR PLUMBING PIPING AND EQUIPMENT	12/16/2020	100% CD'S
22 05 53	IDENTIFICATION FOR PLUMBING PIPING AND EQUIPMENT	12/16/2020	100% CD'S
22 05 93	TESTING, ADJUSTING, AND BALANCING FOR PLUMBING	12/16/2020	100% CD'S
22 07 19.12	INSULATION FOR DOMESTIC HOT-WATER PIPING	12/16/2020	100% CD'S
22 07 19.14	INSULATION FOR SANITARY PIPING AND DRAINS	12/16/2020	100% CD'S
22 07 19.15	INSULATION FOR ADA PLUMBING FIXTURES	12/16/2020	100% CD'S
22 11 01	HORIZONTAL DIRECTIONAL DRILLING	01/15/2021	ADDENDUM #2
22 11 16	DOMESTIC WATER PIPING	12/16/2020	100% CD'S
22 11 19	DOMESTIC WATER PIPING SPECIALTIES	12/16/2020	100% CD'S
22 11 23	DOMESTIC WATER PUMPS	12/16/2020	100% CD'S
22 11 23.13	DOMESTIC-WATER PACKAGED BOOSTER PUMPS	12/16/2020	100% CD'S
22 11 26	FACILITY LIQUEFIED-PETROLEUM GAS PIPING	12/16/2020	100% CD'S
22 13 16	SANITARY WASTE AND VENT PIPING	12/16/2020	100% CD'S
22 13 19	SANITARY WASTE PIPING SPECIALTIES	12/16/2020	100% CD'S
22 13 23	SANITARY WASTE INTERCEPTORS	12/16/2020	100% CD'S
22 13 44	SEWAGE LIFT STATION WITH SUBMERSIBLE PUMPS	12/16/2020	100% CD'S
22 14 13	FACILITY STORM DRAINAGE PIPING	12/16/2020	100% CD'S
22 14 23	STORM DRAINAGE PIPING SPECIALTIES	12/16/2020	100% CD'S
22 33 00	ELECTRIC, DOMESTIC-WATER HEATERS	12/16/2020	100% CD'S
22 34 00	FUEL-FIRED, DOMESTIC-WATER HEATERS	12/16/2020	100% CD'S
22 42 13.13	COMMERCIAL WATER CLOSETS	12/16/2020	100% CD'S
22 42 13.16	COMMERCIAL URINALS	12/16/2020	100% CD'S
22 42 16.13	COMMERCIAL LAVATORIES	12/16/2020	100% CD'S
22 42 16.16	COMMERCIAL SINKS	12/16/2020	100% CD'S
22 42 23	COMMERCIAL SHOWERS	12/16/2020	100% CD'S
22 47 16	PRESSURE WATER COOLERS	12/16/2020	100% CD'S
<u>DIVISION 23</u>	<u>HEATING, VENTILATION & AIR CONDITIONING (HVAC)</u>		
23 01 00	GENERAL PROVISION FOR HVAC	12/16/2020	100% CD'S
23 05 13	COMMON MOTOR REQUIREMENTS FOR HVAC EQUIPMENT	12/16/2020	100% CD'S

The School Board of Baker County, Florida – New Baker County Elementary School

GMP Document Log

Number	Name	Issue Date	Issue Description
23 05 17	SLEEVES AND SLEEVE SEALS FOR HVAC PIPING	12/16/2020	100% CD'S
23 05 18	ESCUTCHEONS FOR HVAC PIPING	12/16/2020	100% CD'S
23 05 29	HANGERS AND SUPPORTS FOR HVAC PIPING AND EQUIPMENT	12/16/2020	100% CD'S
23 05 48.13	VIBRATION CONTROLS FOR HVAC	12/16/2020	100% CD'S
23 05 53	IDENTIFICATION FOR HVAC PIPING AND EQUIPMENT	12/16/2020	100% CD'S
23 05 93	TESTING, ADJUSTING AND BALANCING FOR HVAC	12/16/2020	100% CD'S
23 07 13.11	INSULATION FOR INDOOR GENERAL HVAC DUCTS	12/16/2020	100% CD'S
23 07 13.13	INSULATION FOR COMMERCIAL KITCHEN EXHAUST DUCTS	12/16/2020	100% CD'S
23 07 19.11	INSULATION FOR CONDENSATE DRAIN PIPING	12/16/2020	100% CD'S
23 07 19.16	INSULATION FOR REFRIGERANT PIPING	12/16/2020	100% CD'S
23 23 00	REFRIGERANT PIPING	12/16/2020	100% CD'S
23 29 23	VARIABLE-FREQUENCY MOTOR CONTROLLERS	12/16/2020	100% CD'S
23 31 13.11	METAL DUCTS FOR GENERAL HVAC	12/16/2020	100% CD'S
23 31 13.12	METAL DUCTS FOR COMMERCIAL KITCHEN EXHAUST	12/16/2020	100% CD'S
23 31 13.13	METAL DUCTS FOR LABORATORY EXHAUST	12/16/2020	100% CD'S
23 33 00	AIR DUCT ACCESSORIES	12/16/2020	100% CD'S
23 33 46	FLEXIBLE DUCTS	12/16/2020	100% CD'S
23 34 16.11	SQUARE IN-LINE CENTRIFUGAL FANS	12/16/2020	100% CD'S
23 34 16.14	FILTERED SUPPLY CENTRIFUGAL FANS	12/16/2020	100% CD'S
23 34 23.12	CEILING-MOUNTED VENTILATORS	12/16/2020	100% CD'S
23 34 23.13	CENTRIFUGAL ROOF VENTILATORS	12/16/2020	100% CD'S
23 34 33.13	COMMERCIAL AIR CURTAINS	12/16/2020	100% CD'S
23 37 13.13	AIR DIFFUSERS	12/16/2020	100% CD'S
23 37 13.23	REGISTERS AND GRILLES	12/16/2020	100% CD'S
23 37 23	HVAC GRAVITY VENTILATORS	12/16/2020	100% CD'S
23 39 00	LOUVERS AND VENTS	12/16/2020	100% CD'S
23 41 00	PARTICULATE AIR FILTRATION	12/16/2020	100% CD'S
23 62 00	PACKAGED COMPRESSOR AND CONDENSER UNITS	12/16/2020	100% CD'S
23 73 13.16	INDOOR, SEMI-CUSTOM AIR-HANDLING UNITS	12/16/2020	100% CD'S
23 81 26.11	AIR-COOLED, SPLIT-SYSTEM, AIR-CONDITIONERS (5 TONS AND SMALLER)	12/16/2020	100% CD'S
23 81 26.12	AIR-COOLED, SPLIT-SYSTEM, AIR-CONDITIONERS (6 TONS AND LARGER)	12/16/2020	100% CD'S
23 81 66	VARIABLE REFRIGERANT VOLUME SYSTEMS	12/16/2020	100% CD'S
23 82 16.14	ELECTRIC-RESISTANCE AIR COILS	12/16/2020	100% CD'S
DIVISION 25	INTEGRATED AUTOMATION		
25 01 00	GENERAL PROVISIONS FOR INSTRUMENTATION AND CONTROL	12/16/2020	100% CD'S
25 05 28	PATHWAYS FOR CONTROL SYSTEMS	12/16/2020	100% CD'S

The School Board of Baker County, Florida – New Baker County Elementary School

GMP Document Log

Number	Name	Issue Date	Issue Description
25 05 29	HANGERS AND SUPPORTS FOR CONTROL SYSTEMS	12/16/2020	100% CD'S
25 09 10	INTEGRATION WITH EXISTING DDC SYSTEM	12/16/2020	100% CD'S
25 09 23.12	CONTROL DAMPER ACCESSORIES	12/16/2020	100% CD'S
25 09 23.13	ENERGY METERS	12/16/2020	100% CD'S
25 09 23.14	FLOW INSTRUMENTS	12/16/2020	100% CD'S
25 09 23.16	GAS INSTRUMENTS	12/16/2020	100% CD'S
25 09 23.17	LEVEL INSTRUMENTS	12/16/2020	100% CD'S
25 09 23.19	MOISTURE INSTRUMENTS	12/16/2020	100% CD'S
25 09 23.27	TEMPERATURE INSTRUMENTS	12/16/2020	100% CD'S
DIVISION 26	ELECTRICAL		
26 01 00	GENERAL PROVISIONS FOR ELECTRICAL	12/16/2020	100% CD'S
26 05 19	LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES	12/16/2020	100% CD'S
26 05 23	CONTROL-VOLTAGE ELECTRICAL POWER CABLES	12/16/2020	100% CD'S
26 05 26	GROUNDING AND BONDING FOR ELECTRICAL SYSTEMS	12/16/2020	100% CD'S
26 05 29	HANGERS AND SUPPORTS FOR ELECTRICAL SYSTEMS	12/16/2020	100% CD'S
26 05 33	RACEWAYS AND BOXES FOR ELECTRICAL SYSTEMS	12/16/2020	100% CD'S
26 05 36	CABLE TRAYS FOR ELECTRICAL SYSTEMS	12/16/2020	100% CD'S
26 05 44	SLEEVES AND SLEEVE SEALS FOR ELECTRICAL RACEWAYS AND CABLING	12/16/2020	100% CD'S
26 05 53	IDENTIFICATION FOR ELECTRICAL SYSTEMS	12/16/2020	100% CD'S
26 05 73.13	SHORT-CIRCUIT STUDIES	12/16/2020	100% CD'S
26 05 73.16	COORDINATION STUDIES	12/16/2020	100% CD'S
26 05 73.19	ARC-FLASH HAZARD ANALYSIS	12/16/2020	100% CD'S
26 09 23	LIGHTING CONTROL DEVICES	12/16/2020	100% CD'S
26 09 43.23	RELAY-BASED LIGHTING CONTROLS	12/16/2020	100% CD'S
26 09 53	ADDRESSABLE FIRE-ALARM SYSTEMS	12/16/2020	100% CD'S
26 22 13	LOW-VOLTAGE DISTRIBUTION TRANSFORMERS	12/16/2020	100% CD'S
26 24 13	SWITCHBOARDS	12/16/2020	100% CD'S
26 24 16	PANELBOARDS	12/16/2020	100% CD'S
26 27 26	WIRING DEVICES	12/16/2020	100% CD'S
26 28 13	FUSES	12/16/2020	100% CD'S
26 28 16	ENCLOSED SWITCHES AND CIRCUIT BREAKERS	12/16/2020	100% CD'S
26 29 13.03	MANUAL AND MAGNETIC MOTOR CONTROLLERS	12/16/2020	100% CD'S
26 32 13.13	DIESEL-ENGINE-DRIVEN GENERATOR SETS	12/16/2020	100% CD'S
26 36 00	TRANSFER SWITCHES	12/16/2020	100% CD'S
26 41 13	LIGHTNING PROTECTION FOR STRUCTURES	12/16/2020	100% CD'S
26 43 13	SURGE PROTECTION FOR LOW-VOLTAGE ELECTRICAL POWER CIRCUITS	12/16/2020	100% CD'S

The School Board of Baker County, Florida – New Baker County Elementary School

GMP Document Log

Number	Name	Issue Date	Issue Description
26 51 19	LED INTERIOR LIGHTING	12/16/2020	100% CD'S
26 56 13	LIGHTING POLES AND STANDARDS	12/16/2020	100% CD'S
26 56 19	LED EXTERIOR LIGHTING	12/16/2020	100% CD'S
<u>DIVISION 27</u>	<u>COMMUNICATIONS</u>		
27 05 26	GROUNDING AND BONDING FOR COMMUNICATIONS SYSTEMS	12/16/2020	100% CD'S
27 05 28	PATHWAYS FOR COMMUNICATIONS SYSTEMS	12/16/2020	100% CD'S
27 11 00	COMMUNICATIONS EQUIPMENT ROOM FITTINGS	12/16/2020	100% CD'S
27 13 00	COMMUNICATIONS BACKBONE CABLING	12/16/2020	100% CD'S
27 15 00	COMMUNICATIONS HORIZONTAL CABLING	12/16/2020	100% CD'S
27 30 00	EMERGENCY COMMUNICATION SYSTEM	12/16/2020	100% CD'S
27 41 00	AUDIO/VIDEO SYSTEMS	12/16/2020	100% CD'S
<u>DIVISION 28</u>	<u>ELECTRONIC SAFETY & SECURITY</u>		
28 05 13	CONDUCTORS AND CABLES FOR ELECTRONIC SAFETY AND SECURITY	12/16/2020	100% CD'S
28 05 26	GROUNDING AND BONDING FOR ELECTRONIC SAFETY AND SECURITY	12/16/2020	100% CD'S
28 13 00	ACCESS CONTROL	12/16/2020	100% CD'S
28 21 13	IP CAMERAS	12/16/2020	100% CD'S
28 23 19	IP VIDEO STORAGE SERVER	12/16/2020	100% CD'S
<u>DIVISION 31</u>	<u>EARTHWORK</u>		
31 02 20	EARTHWORK	12/16/2020	100% CD'S
31 02 51	STABILIZED SUBBASE	12/16/2020	100% CD'S
31 02 52	LIMEROCK BASE COURSE	12/16/2020	100% CD'S
31 31 16	TERMITE CONTROL	12/16/2020	100% CD'S
<u>DIVISION 32</u>	<u>EXTERIOR IMPROVEMENTS</u>		
32 02 51	CONCRETE CURBS, CURBS AND GUTTERS, AND SIDEWALKS	12/16/2020	100% CD'S
32 02 52	ASPHALTIC CONCRETE PAVING	12/16/2020	100% CD'S
32 02 61	PAINTING TRAFFIC STRIPES AND MARKINGS	12/16/2020	100% CD'S
32 02 93	SODDING, SEEDING AND MULCHING FOR SITE STABILIZATION	12/16/2020	100% CD'S
32 31 13	CHAIN LINK FENCES AND GATES	12/16/2020	100% CD'S
32 31 19	DECORATIVE METAL FENCES AND GATE	12/16/2020	100% CD'S
<u>DIVISION 33</u>	<u>UTILITIES</u>		
33 02 66	WATER DISTRIBUTION SYSTEMS	12/16/2020	100% CD'S
33 02 73	SANITARY SEWERS	12/16/2020	100% CD'S
33 02 75	STORM DRAINAGE CULVERTS AND STRUCTURES	12/16/2020	100% CD'S

The School Board of Baker County, Florida – New Baker County Elementary School

GMP Document Log

Number	Name	Issue Date	Issue Description
33 02 93	STORM WATER POLLUTION PREVENTION PLAN (SWPPP)	12/16/2020	100% CD'S
33 03 41	PRECAST CONCRETE STORM DRAINAGE STRUCTURES	12/16/2020	100% CD'S



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CGC 017574

Baker County Elementary

Construction Documents - Pre-Construction Review Questions

#	Date	Sheet / Spec	Detail / Section	Comment	Response	Response Date
1	12/23/2020	07 4113	2.01	Please confirm that Thorne Metal Systems w/ Merchant & Evans or Drexel/Peterson (both are owned by Carlisle now) are allowed as an acceptable roofing team.	If the product and materials meet the specifications & dwgs, profiles, material reqs, warranty, wind speed & pressures of the area and has FL PRODUCT APPROVAL, then this Team may be used.	1/15/2021
2	12/23/2020	Sheet A10.6 & S7.1		The structure plans are calling for a sloped slab in the kitchen area however the slab is not recessed for a mud bed under the quarry tile. Please clarify.	Recess the entire slab 1.5" in the Kitchen and other rooms adjacent that are to receive Quarry Tile. A mortar bed will slope the QT to the drains. Structural will be updated in ADD #2.	1/8/2021
3	12/23/2020			Did you see any wire mesh partitions on this job? We did not. If required please let us know.	Mesh partitions are not included in this project.	12/30/2020
4	12/23/2020	Sheet S1.2	Details 4 and 5	Detail 4 and S1.2, shows the mezzanine decks as 8" concrete on 2.1 ww mesh on a metal pan. Please confirm this should be 3" concrete, not 8". 8" is shown everywhere on the mezzanine decks.	The details for the 8" slab on metal deck are correct.	1/4/2021
5	12/23/2020	Sheet A7.1		What trade will be picking up the Bullet-Resistant security window type 'E' and the glass for door 103?	Bullet resistant glazing and bullet resistant recessed deal tray are to be furnished and installed by the glazing subcontractor. Refer to specification sections 130651 and 130652.	12/30/2020
6	12/23/2020	Sheet A7.1		Window type 'F', is this to be a sliding transaction window with 1/4" glass such as the type you can buy and build from CR Laurence? Please provide specification.	See Control rm 810. Operability aids communication during a Stage usage event. When closed, it prevents excessive Sound intrusion when an event is occurring, while providing Security for electronics.	1/8/2021
7	12/23/2020	Sheet A7.1		For HM window type 'C', we typically supply and install only the glass for HM frames, is the intermediate vertical and horizontal mullion surface applied? For example, there is one line of glass per 'C' frame and the HM frame supplier will pick up the intermediate vertical and horizontal mullion and surface apply it to the glass after we install the glass??	Window Type 'C' is a HM frame with four lites. The intermediate vertical and horizontal mullions are part of the HM frame.	12/30/2020
8	12/24/2020			Is this project a Jessica Lunsford Project?	This is a new campus site, so Jessica Lunsford will not be required except possibly in the closeout period if the faculty/staff begins to move in. Please review the project schedule available on Building Connected.	12/30/2020
9	12/24/2020	Geotechnical Report & Civil Drawings	Geotechnical Report paragraph 5.2	We recommend that higher fills may result in higher than tolerable structure settlements (i.e., greater than one inch) due to consolidation of the clay soils. This will be further evaluated during the more specific settlement monitoring and analysis program. We emphasize that the total estimated settlements, necessary site preparation, and earthwork construction procedures will be primarily dependent on the maximum anticipated structural loads applied to the foundations.	Refer to Final Geotech Report dated March 11, 2020, available on Building Connected.	1/4/2021
10	12/25/2020			Can you please advise whether window treatments are part of the scope, and if so, provide the appropriate specifications and respective locations?	Refer to specification section 109900 for window blinds. Provide specified window blinds at all exterior windows.	12/30/2020



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Construction Documents - Pre-Construction Review Questions

#	Date	Sheet / Spec	Detail / Section	Comment	Response	Response Date
11	12/28/2020	10 28 00		Toilet Accessories: Should the mirrors be TEMPERED? Should each sink get a Paper Towel Dispenser and Soap Dispenser? Should the Shower Curtains be set at 78" per code? Spec has them as 72".	In reading Bobrick's literature, standard mirror glazing is float glass. Every sink should receive a Soap and paper towel dispenser. Shower curtains rods come standard (pre-mounted) in a prefab ADA module. Comply with ADA. The 72" was referencing the width.	1/8/2021
12	12/28/2020	10 44 16		Fire Extinguishers: The specifications list extinguishers for areas (Labs, Shops, Boiler Room, Bulk Storage, Equipment Rooms, Bulk Paper Storage, Communication and Electrical Rooms), but are not indicated on the LS Sheets. Will they be required? If so, should we assume or will revised LS drawing be issued?	Yes, they will be required as Specified.	1/8/2021
13	12/29/2020	Sheet S1.1		S1.1 shows the three cast in place column sizes, details 1/S1.1, 4/S1.1 and 5/S1.1. As you know the plans cover multiple sheets, and there is not one detail as to where the CIP columns are. Normally, They are labeled C-1, C-2, C-3 etc. and noted on the plan drawings. It's unclear to me where they are.	The concrete columns are called out by detail on the floor plans. See below as an example.	1/4/2021
14	12/29/2020	Sheets S3.2, S4.2, S6.2, & A3.2		We have noticed a discrepancy in the finished floor elevations at the corridor intersections in the mezzanine. The architectural drawings, section E on sheet A3.2, give an elevation of 13'-4" whereas the structural drawings, section 1 on sheet S3.2 and the framing plans, show 11'-4". Please clarify.	The Mezzanine must be raise in this area to allow for the height change in the corridor below. Add #2 will show the Structural changes as needed.	1/8/2021
15	12/29/2020	Sheets A51.0 & A1.0		Drawings do not indicate which type of fence is for which line type. Please clarify types of fencing required and provide details of each type.	See revised sheets A1.0 & A51.0 in Add #1	1/8/2021
16	12/29/2020	Spec 08 05 00, Sheet A7.1		Door (gates) types F and G are not indicated on the drawings or door schedule. Please provide locations for door types F and G.	See revised sheets A1.0 In Add #1, Decorative Gate F' is called out.	1/8/2021
17	12/29/2020	Sheets A51.0 & A1.0		Please provide details and type of fencing required at the mechanical/equipment pads.	At the Mech yards adjacent to the Classroom wings, use 4' tall Chain link fencing, as per sheet A1.0. Other Mech yards, near the Cafeteria or elsewhere on the site, utilize 6' high chain link. See spec 313213	1/8/2021
18	12/29/2020	Sheets A51.0 & A1.0		Drawings depict double fencing around the ponds; please confirm this is required. If so, please verify gate locations. If not, please clarify which fence type is required.	See spec 323113 Chain fencing & gates and revised sheets A1.0 & A51.0 in Add #1	1/8/2021
19	12/30/2020	Spec. Div. 23 00 00		Who will carry the HVAC controls subcontractor, the GC or the mechanical contractors?	Controls will be bid in the HVAC Scope of Work.	1/8/2021



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Construction Documents - Pre-Construction Review Questions

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20	12/30/2020	Sheet FS1.1		Please see below for an RF1 regarding Food Service Equipment @ Macclenny C. item K32. The written spec is for a R602 (std at 208-240v/60/3) however your equip schedule shows a R602X (std at 120/60/1) which is no longer available. In lieu of the R602X I would typically quote as an option a CL51 (std at 120/60/1) HOWEVER since the Equipment schedule, written specs and electrical are all in conflict, I need to know which model they want and the correct voltage required for this item before I can proceed. Cut Sheets for both models are attached.	Provide the R602 model. The FS equipment schedule and the specifications have been updated to show the R602 information.	1/8/2021
21	12/30/2020	23 05 93	3.1	Would local Test & Balance companies who are certified be acceptable in lieu of those listed?	Submit TAB qualifications for engineer review.	1/8/2021
22	12/30/2020	07 4113	2.01	Please confirm that Architectural Sheet Metal Inc w/ Petersen Pac-Clad are allowed as an acceptable roofing team.	If the product and materials meet the specifications & dwgs, profiles, material reqs, warranty, wind speed & pressures of the area and has FL PRODUCT APPROVAL, then this Team may be used.	1/15/2021
23	12/31/2020	23 05 48.13		Spec section 230548.13 Vibration Controls describes several different vibration isolation products, but doesn't include a schedule indicating what their applications are for this project. Please provide a schedule of vibration isolation requirements.	See equipment details and schedules.	1/8/2021
24	1/4/2021	10 99 00		Please confirm window blinds are required at all exterior windows, including corridors, windows that are facing corridors, and cafeteria.	Window blinds are not needed in the Corridors, Media or Cafeteria.	1/8/2021
25	12/31/2021	26 05 33		The specs call for compression EMT connector which these days are very expensive. Also in the specs about install exposed cables are to be run parallel and perpendicular to exposed structural members. With that being said I'm taking it that cabling to be MC cable but nowhere do it call out that MC is approved or not approved for use. Do you know if they will accept steel set screw fitting and allow the use of MC cable?	Provide compression connectors per the specs. Plan to install EMT perpendicular to structure per the specs except where explicitly allowed in the specs such as a whip to a light fixture or piece of vibrating equipment.	1/8/2021
26	1/5/2021	Sheets A1.0A & C603		Please confirm that covered walkway canopy drains are to daylight at grade. Civil drawings do not depict storm piping for the canopies.	They are not tied to underground piping.	1/8/2021
27	1/5/2021	05 51 16		Please provide specification for the fixed aluminum industrial stairs.	Precision Ladders, Aluminum Ship Stairs & Industrial Stairs is Basis of Design; see revise A9.2 and Spec 055116 in Add #1.	1/8/2021
28	1/5/2021	07 95 00		Please provide locations of expansion control materials.		1/8/2021
29	1/5/2021	26 32 13.13		What is the required fuel tank capacity requirement in gallons and or Run time? 24 hours, 48 hours etc. Please advise.	72 Hours at 100% capacity. Refer to generator schedule on sheet E4.1.	1/8/2021
30	1/5/2021	07 4113	2.01	Please confirm that BBS Contracting Group, Inc. w/ Petersen Pac-Clad are allowed as an acceptable roofing team.	If the product and materials meet the specifications & dwgs, profiles, material reqs, warranty, wind speed & pressures of the area and has FL Product Approval, then this Team may be used.	1/15/2021
31	1/7/2021	04 11 13	2.02	Specifications indicate brick "color to match existing Building #1" but there are no existing buildings. Please clarify brick color and manufacturer required.	Utilize a finished brick (similar to Macclenny Elementary); Brick Color to be determined; base bid to be reddish with an Add Alt to utilize a tan brick	1/15/2021
32	1/7/2021	Sheet S3.2	3/56.1 ?	On sheet S3.2 Bottom Right hand side has a section cut for detail 3/56.1 when I go to sheet 56.1 no details are here. Can you please advise?	Roof framing section cut has been updated on S3.2	1/15/2021



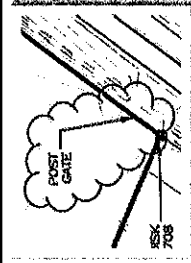
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Construction Documents - Pre-Construction Review Questions

#	Date	Sheet / Spec	Detail / Section	Comment	Response	Response Date
33	1/7/2021	Geotechnical Report & Civil Drawings	geotechnical Report section 5.3.3	The entire site excluding the ponds is being filled by 2.5' minimum (not counting the base and pavement). We believe this eliminates the needs for the recommended underdrains specified in the soils report, section 5.3.3. There are no underdrains shown on civil plans, which would indicate that they were not in the basis of design - probably because of the amount of fill. Is this a valid assumption?	Underdrains are not proposed due to the amount of fill proposed above existing grade.	1/15/2021
34	1/7/2021	08 80 00		Hamilton County smoke glass was bid as 1/4" clear tempered in lieu of 20 minute fire glass. Will this be the same application?	As long as it's in a wall that doesn't require any other rating and is sealed to resist the passage of smoke.	1/15/2021
35	1/7/2021	Sheet A7.1		Storefront doors #201 Type SF2 on plan page #A7.1 (Interior Pair with Transom and Sidelites) are located in a 1 Hour Fire Wall. Will this be changed from Storefront to Hollow metal to accommodate the 1 Hour Fire Wall Application?	This SF assembly is located in a Smoke Partition that must resist the passage of smoke.	1/15/2021
36	1/7/2021	08 51 13		Would like to propose using the Winco 1150 Series for the exterior window types A and B. And the Winco 3410 Series for the interior type F window in the control room. (These are the same windows used at Hamilton County) Please see attached and advise.	Winco can be used, as long as the windows meets the pressures and wind speeds of the area, has FL product approval, meets size reqs, warranty and all other req'd project & specification items.	1/15/2021
37	1/7/2021	Sheet A6.4		Interior elevations depict display cases but these locations do not match the Equipment Plans item 18 - Display Case (OFV). Please provide locations/quantities of the OFV Display Cases as well as details and wall sections if the display cases are recessed in the partition.	Equipment Plans A10_ sheets override the A6.4 Interior Elevations in this case. These will be Tackboards.	1/8/2021
38	1/8/2021	10 14 40	2.01	I'm reaching out in regard to the Macdenny "C" School project's signage. I would like to know if we can get Advanced Sign Solutions to be an Approved Equal to the acceptable manufacturer Best Sign Systems. Please see their attached Contractor Summary Packet. They can provide everything equally as specified. Please let me know if they can be approved.	Advanced sign systems is approved as a vendor, as long as they use the one piece sign as specified. They can do this. They did it for another project. after submitting two sign types at the beginning that were not one piece signs. They used the Best signs as specified in the end.	1/15/2021
39	1/8/2021	07 4113	2.01	KC Construction is requesting to add APEC AllSouth Pre-engineered Components, LLC as a manufacturer for the Standing Seam Roof. APEC is located at 985 Technology Dr. Dothan, AL 36303. I have attached product data for review. Also for future projects be advised that American Buildings has went to PEMB and will no longer be doing lump sum roofing quotes, and AIM has become ACL and is now based in Texas.	If the product and materials meet the specifications & dwgs, profiles, material reqs, warranty, wind speed & pressures of the area and has FL PRODUCT APPROVAL, then this Team may be used.	1/15/2021
40	1/8/2021	Sheet A1.0 and Civil		Please advise if bollards are required at dumpster pad, electrical transformer, LP tanks, near overhead door, and columns or end of screen walls at parent drop off entrance.	See updated Civil sheets and added Dumpster wall surround. Bollards are shown for the dumpster and transformer pad. The Parent drop screen wall has been reduced 4'. See Add #2	1/15/2021
41	1/8/2021	Sheet A1.0A		Please provide specification for the Electronic Signage depicted on sheet A1.0A.	See revised spec 109900 in Add #2 that shows the Daktronics Galaxy Sign	1/15/2021
42	1/8/2021	Sheet C101		Please advise on the scope of work for the existing post gate in the Southeast property corner; demolished, remain as is, replaced?	Existing post gate and fence along ROW frontage should be demolished.	1/15/2021





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Baker County Elementary

Construction Documents - Pre-Construction Review Questions

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43	1/8/2021	Sheets A10_A		Concerning the custom paws that's cut into LVT-6, should we assume that the paw color relates to the color shown on the field LVT? For example one paw shows four pieces of LVT-6 with a red paw, the red is LVT-5 in the field pattern so assumption would be that paw will be LVT-6 field tile with LVT-5 as the custom paw. Please confirm. Refer to Electrical Symbols on sheet E0.1. Is the engineers intent to run a 1" conduit from all AV outlets to cable tray on this project or can we stub above accessible ceiling like the communications outlets? See green highlight below.	Correct.	1/15/2021
44	1/11/2021	Sheet E0.1	Electrical Symbols Legend - Tele communications	RECESSED 2-GANG, 4" DEEP WALL BOX WITH 1/4" KNOCK-OUT FOR AV AND 1" KNOCK-OUT FOR DATA. 1/2" CONDUIT IN WALL TO ACCEPT 1/2" INTERLOCKED INSULATED CABLE (AV SYSTEM) (10 TELECOMMUNICATIONS ROUTE BOX) TO CABLE TRAY WITH 1/2" SOLID COPPER, HUBBELL: HBL385 RECESSED 1-GANG, 4" DEEP WALL BOX WITH 1/4" KNOCK-OUT FOR AV AND 1" KNOCK-OUT FOR DATA. 1/2" CONDUIT IN WALL TO ABOVE CEILING AND PROVIDE BUSHING FOR AV SYSTEM. 1" TELECOMMUNICATIONS ROUTE BOX TO CABLE TRAY WITH 1/2" SOLID COPPER, PROVIDE DUPLEX 120V AC 20A 3-POLE SPD RECEPTACLE WITH LIGHT, COLOR BLUE. PROVIDE LOW VOLTAGE DIVIDER BETWEEN 120VAC RECEPTACLE AND LOW VOLTAGE CONDUITS. HUBBELL: HBL867 / HBL867 / HBL5965A	Yes, stub up above ceiling like communications outlets.	1/15/2021
45	1/11/2021	Sheet E0.1		Refer to Electrical Symbols on sheet E0.1. The blue surge receptacle highlighted below shown as a 3-pole in one description and a 2-pole in another. Is this the same device? See yellow highlight above and below.	3 Pole.	1/15/2021
46	1/11/2021	Sheet E2.1		A surge receptacle shown clouded below is adjacent to the AV outlet (typical at teaching walls). Do we need to install another outlet to satisfy the highlighted AV outlet shown below?	The SPD receptacle shown is the same receptacle referenced in the AV outlet box description on the symbols legend. It shall be installed inside the recessed 4-gang box. There is only 1 SPD receptacle required at each AV box.	1/15/2021
47	1/11/2021	26 36 00	1.2 A.1	The ATS spec (section 1.2) mentions bypass/isolation switches. Can you confirm this is required?	Bypass/isolation switches are not required on the two ATS's.	1/15/2021
48	1/11/2021	26 32 13.13	2.9 A.2	The Generator spec (section 2.9 A.2) calls for a walk-in type enclosure. This is typically not available on generators this small, can you confirm this is required?	Walk-in enclosure is not required.	1/15/2021
49	1/11/2021	10 99 00		According to Specification Section 109900 Misc. Specialties, the contractor is to provide refrigerator, but according to the equipment legend on plan page A11.1, they are O.F.C.I. Please clarify.	See revised spec 109900 in Add #2; these are to be C.F.C.I.	1/15/2021
50	1/11/2021	Sheet C506		The Entrance Road has no design grades from approximately 39+33.5 to the new turn lane. There are a couple of contour lines near the turn lane. What are we to use for design grades for this roadway section? Please provide design grades.	Additional spot shots to provide clarification have been added to sheet C 407.	1/15/2021



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Construction Documents - Pre-Construction Review Questions

#	Date	Sheet / Spec	Detail / Section	Comment	Response	Response Date
51	1/11/2021	Sheet C502		On the Fire Access Road.....The only slope I see is half way down calling out for -2.0% cross slope from east to west. Does this slope pertain to the entire road?	The -2.0% cross slope is proposed to be maintained the length of the Fire Access Road.	1/15/2021
52	1/11/2021	Sheets C402 through C405		On the new Turn Lane, cross sections are provided from Station 10+25.00 to 23+00.00. The turn lane starts at station 6+18.81 and goes to 23+00. What are we supposed to use for takeoff for the area between the beginning and station 10+25.00?	Additional survey has been added to the plans to include this area.	1/15/2021
53	1/11/2021			Do you have proposed grades and existing grades for the turn lane area? If so, can this info be provided in a CAD file for takeoff purposes only? This would be more accurate than cross sections.	Roadway grading CAD files to be provided upon request	1/15/2021
54	1/11/2021	Sheet C701		The 12" offsite water main along side of Hwy 121- There is a directional drill indicated on Sheet C-7.01, no size, length or depth (of conflict) is shown. We need this info for bidding purposes if it is to be included.	Additional information detailing proposed horizontal directional drill has been added to the plans and specifications to provide clarification.	1/15/2021
55	1/11/2021	07 41 13	2.02 D	The spec says "Wall Panel to be Architectural II by Architectural Metal Systems", but there is no "II" panel. There is a "III" panel or we used a reverse-rolled M-36 panel for the last CRA job we did at Hamilton County, FL. BOTH for the fascia panel AND the cable wall panels reverse-rolled M-36 panel. See attached and please advise.		
56	1/11/2021	27 15 00		We would like to request an approval for an alternate paging (intercom/bell) system for this school. I have reviewed the plans and specifications and we can meet them fully with a "Telecor E-Series" system. Please see attached data and advise.	This system seems to have the same features as the basis of design. If it meets plans and specs than it is ok to submit	1/15/2021
57	1/12/2021	Sheet T0.1		Refer to Telecommunications legend for WAP. Please confirm (2) cat6A plenum rated cables per WAP?	Confirmed.	1/15/2021
58	1/12/2021	Sheet T0.1		Under the Faceplate Legend (T0.1), the (V) style faceplate, do we need to provide (2) cat6 cables or (4) cat6 cables? The detail says only (2) but the faceplate legend picture shows (4) cables in the main configuration.	For the circle (V) with no subscript, provide (2) cat6 cables. With a subscript "4", provide (4) cat6 cables.	1/15/2021
59	1/12/2021	Sheet T0.1		Under the faceplate legend (T0.1), Detail #4 tells me to provide an Ivory HDMI insert for that faceplate, but the faceplate is white, as well as all the other trim out devices for that plate, does this HDMI insert need to be white?	Provide Ivory inserts and white faceplates as specified.	1/15/2021
60	1/12/2021	Sheet T0.1		Can you please confirm all (XX) style faceplates are just a standard dual gang (2) wire cat6 data location? a. The faceplate legend is telling me that we need to replace the HDMI insert with a blank, which would make this location a standard (2) wire data location, just curious why it is a dual gang if it is only housing (2) data cables?	Yes, the circle (XX) only has 2 cat6 cables. The intent is to have a large enough box for future installation of HDMI or other cables. One HDMI is installed between each (V) two per classroom and one (V) (one per classroom) . Refer to previous RFI for clarity.	1/15/2021
61	1/12/2021	Sheet T0.1		Can you please confirm that just (1) HDMI cable is to be installed between all (XXV) locations to (V) locations? a. To me, this is just (1) HDMI cable that ties between each box, from behind the TV to near the desk. Just want to clarify this.		1/15/2021



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#	Date	Sheet / Spec	Detail / Section	Comment	Response	Response Date
62	1/12/2021	10 99 00	2.03	The GE appliance models listed in the specs are discontinued and there is no direct replacement. Moreover, all 33" fridges in black are backordered and we don't have forecast yet. Please advise.	See revised spec 109900 in ADD 2; this project won't be ready for appliances until next year.	1/15/2021
63	1/13/2021	08 71 00 & 28 13 00		In trying complete the Bid we found out that the hardware specifications will be calling for Sargent WIFI locks and their current integration (Hikvision) will not work with it. So according to the specs we will need to work up a solution for Security (CCTV and Access Control) that will work the updated Division 8 hardware spec. Please let me know, how you would like me to proceed with the bid.	Hikvision (The county utilizes the PRO version) is mainly for cameras and some wired access control points. Wired Card Readers are designed into the security drawings. Unfortunately, Hikvision doesn't make a compatible wireless card reader, which is the economic solution that this project can afford. Therefore, a separate Access Control software for Classroom doors would need to be purchased if Asa Abloy is utilized; Allegion's software comes with the install. But neither coordinate with Hikvision. In reality, Alternate #3 would be a deductive cost to go to a Wireless door hardware & software solution.	1/15/2021
64	1/13/2021	Sheets A1.0 & C503		Please confirm that the concrete pavement to the loading dock should be extended to provide access to the overhead door for Custodial Receiving Room 824. Please provide revised plan.	The concrete under the roof of the building will be part of the Building concrete pad. It is not intended for delivery trucks drive under this 9'-4" clear soffit.	1/15/2021
65	1/13/2021	Sheet S4.2		Please provide detail showing how to terminate the open ends of the mezzanine slabs typical at the classroom wings and raised octagon areas.	Cont. L-8x6x1/2 with 1/2" Dia. headed studs span over end of Mezzanine. Section 3/53.2 was added to clarify this condition.	1/15/2021
66	1/13/2021	Sheets A9.2 & E1.7		Please verify if exit lights are required at the mezzanine level.	Yes. See Addendum 2 for added exit lights.	1/15/2021
67	1/13/2021	Sheet A3.2	Section E	Please clarify material and design to be used for the mezzanine steps at the raised octagon areas. See section E/A3.2. Would fire treated wood be acceptable.	Metal framed steps the width of the walkway are needed	1/15/2021



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Construction Documents - Pre-Construction Review Questions

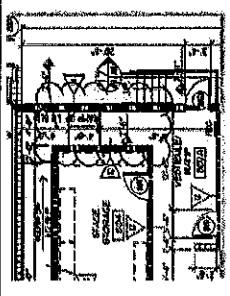
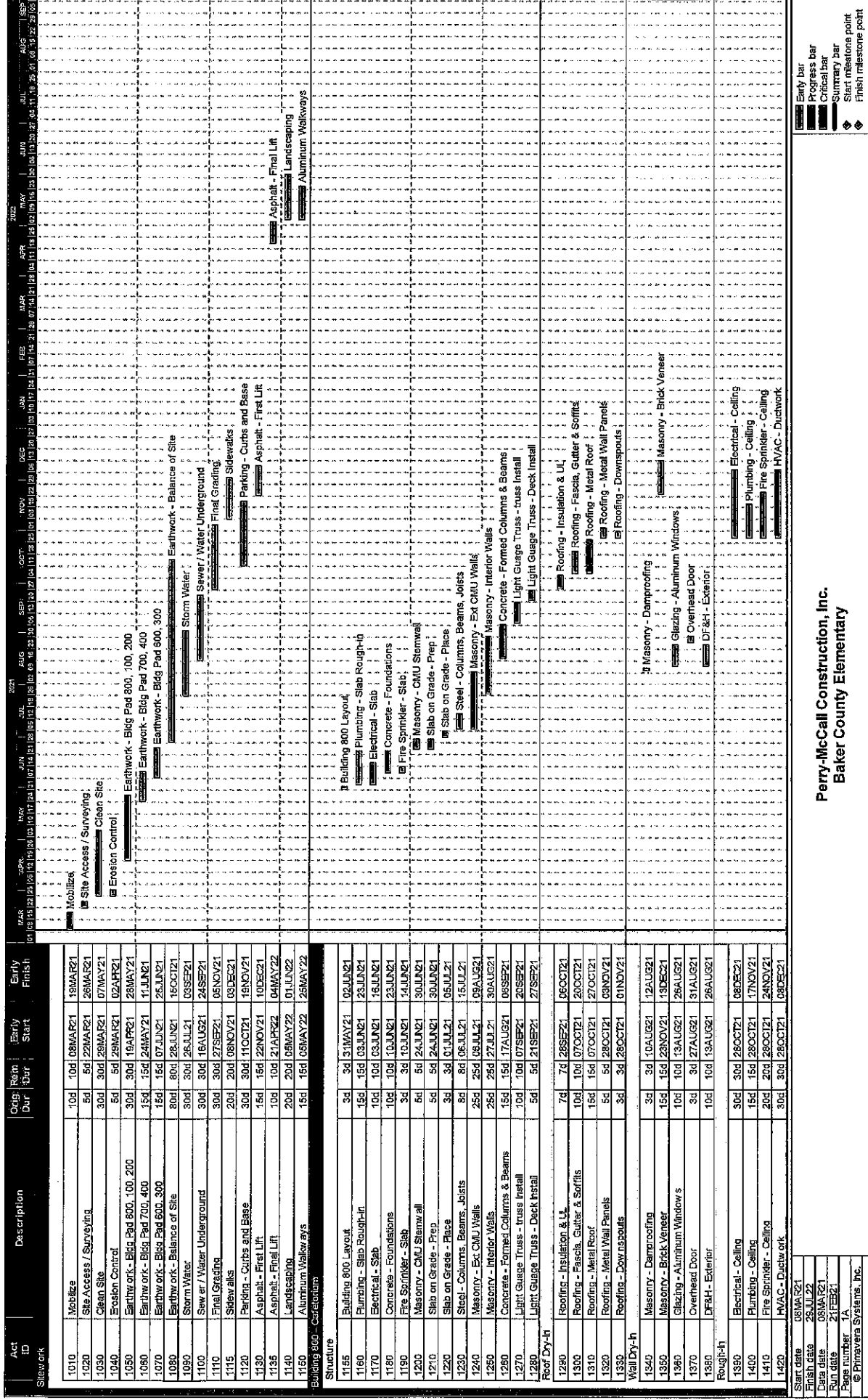
#	Date	Sheet / Spec	Detail / Section	Comment	Response	Response Date
68	1/13/2021	Sheet A1.6		Please verify if hand grips are required at the Vestibule/Ramp Room 802A.	 As this is a ramp with a slope > 1:20, there needs to be handrails on both sides of the ramp. See revised sheet A1.6 in ADD 2.	1/15/2021
69	1/13/2021	Sheet E1.0		Is a light required for the flag pole? If so, provide spec and power source.	Flag pole lights 'N', shown on the site plan E1.0 (to the side of the Admin entrance) should be located straight out the main entry and across the drive. See A51.0 for location.	1/15/2021
70	1/13/2021	10 99 00	2.02 L	Are window blinds required at the Teacher Lounge Room 808, at side lite to door mark 808 and window mark C7?	NO	1/15/2021
71	1/13/2021	01 21 50		Please advise who is responsible for the Threshold Inspection costs?		
72	1/14/2021	Sheet A1.1		Door mark 201E, exterior door at Media Center, does not appear to be on the door schedule. Please advise.		

Exhibit 1 - GMP Book dated 2/23/21



Perry-McCall Construction, Inc.
Baker County Elementary

Exhibit 1 - GMP Book dated 2/23/21

Act. ID	Description	Orig. Dur	Early Start	Early Finish	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP		
2310	Roofing - Metal Roof	15d	16d	04NOV21	24NOV21																										
2320	Roofing - Metal Wall Panels	5d	5d	25NOV21	01DEC21																										
2330	Roofing - Downspouts	3d	3d	25NOV21	28NOV21																										
Wall Dry-In																															
2340	Masonry - Dampproofing	3d	3d	14SEP21	16SEP21																										
2350	Masonry - Brick Veneer	15d	16d	14DEC21	03JAN22																										
2360	Glazing - Aluminum Windows	10d	10d	17SEP21	30SEP21																										
2380	DF&H - Exterior	10d	10d	17SEP21	30SEP21																										
Rough-In																															
2390	Electrical - Ceiling	25d	26d	28NOV21	29DEC21																										
2400	Plumbing - Ceiling	15d	16d	18NOV21	08DEC21																										
2410	Fire Sprinkler - Ceiling	5d	5d	25NOV21	01DEC21																										
2420	HVAC - Ductwork	15d	15d	02DEC21	22DEC21																										
2430	Electrical - Wiring	10d	10d	16DEC21	29DEC21																										
2440	HVAC - Insulation	10d	10d	23DEC21	05JAN22																										
2445	Steel - Mezzanine Ladder and Rails	5d	5d	16DEC21	22DEC21																										
2450	HVAC - Equipment	5d	5d	23DEC21	29DEC21																										
2460	Electrical - Gear	5d	5d	30DEC21	05JAN22																										
2470	Insulation - Spray Foam	3d	3d	05JAN22	10JAN22																										
2480	HVAC - Piping	10d	10d	23DEC21	05JAN22																										
2490	HVAC - Controls	5d	5d	05JAN22	12JAN22																										
Finishes																															
2520	Drywall - Framing	20d	20d	04NOV21	01DEC21																										
2530	Drywall - Above Ceiling Hang & Finish	5d	5d	02DEC21	08DEC21																										
2540	Drywall - Frame Hard Lids	5d	5d	02DEC21	08DEC21																										
2550	Drywall - Hard Lid Hang & Finish	5d	5d	09DEC21	15DEC21																										
2560	Paint - Prime	5d	5d	16DEC21	22DEC21																										
2570	Acoustical Ceiling - Grid	10d	10d	13JAN22	26JAN22																										
2580	Paint - Finish	10d	10d	27JAN22	09FEB22																										
2590	Electrical - Trim	15d	15d	20JAN22	09FEB22																										
2610	Flooring - Ceramic Tile	10d	10d	13JAN22	26JAN22																										
2620	Fire Sprinkler - Trim	5d	5d	27JAN22	02FEB22																										
2630	HVAC - Trim	15d	15d	03FEB22	23FEB22																										
2650	Plumbing - Trim	10d	10d	27JAN22	09FEB22																										
2663	Casework - Cabinets	5d	5d	10FEB22	16FEB22																										
2666	Casework - Tops	3d	3d	17FEB22	21FEB22																										
2668	Flooring - Soft	10d	10d	17FEB22	02MAR22																										
2670	DF&H - Interior	10d	10d	10FEB22	23FEB22																										
2690	Glazing - Interior	5d	5d	24FEB22	02MAR22																										
2710	HVAC - TAB	5d	5d	24FEB22	02MAR22																										
2730	Specialties - Misc	10d	10d	10FEB22	23FEB22																										
2750	Final Clean	5d	5d	03MAR22	09MAR22																										
Building 200 - Voids																															
Structure																															
3155	Building 200 Layout	3d	3d	06JUN21	10JUN21																										
3160	Plumbing - Slab Rough-In	5d	5d	01JUL21	07JUL21																										
3170	Electrical - Slab	5d	5d	24JUN21	30JUN21																										
3180	Concrete - Foundations	10d	10d	08JUL21	21JUL21																										
3200	Masonry - CMU Stemwall	5d	5d	22JUL21	28JUL21																										
3210	Slab on Grade - Prep	3d	3d	22JUL21	26JUL21																										
3220	Slab on Grade - Place	3d	3d	27JUL21	29JUL21																										
3230	Steel - Columns, Beams, Joists	5d	5d	30JUL21	10AUG21																										

Early bar

Progress bar

Critical bar

Summary bar

Start milestone point

Finish milestone point

08MAR21

29JUL22

08JAN21

21FEB21

3A

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Baker County Elementary

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Early bar
 Progress bar
 Critical bar
 Summary bar
 Start milestone point
 Finish milestone point

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Baker County Elementary

Exhibit 1 - GMP Book dated 2/23/21

Act ID	Description	Orig Dur	Remt Dur	Early Start	Early Finish
3240	Masonry - Ext CMU Walls	20d	20d	14SEP21	11OCT21
3250	Masonry - Interior Walls	25d	25d	28SEP21	01NOV21
3260	Concrete - Formed Columns & Beams	15d	15d	05OCT21	20OCT21
3270	Light Gauge Truss - Truss Install	10d	10d	26OCT21	05NOV21
3280	Light Gauge Truss - Deck Install	5d	5d	09NOV21	15NOV21
3283	Concrete - Mezzanine Prep	10d	10d	26OCT21	05NOV21
3286	Concrete - Mezzanine Place	5d	5d	09NOV21	15NOV21
Roof Dry-In					
3290	Roofing - Insulation & UL	7d	7d	16NOV21	24NOV21
3300	Roofing - Fascia, Gutter & Soffits	10d	10d	29NOV21	09DEC21
3310	Roofing - Metal Roof	15d	15d	29NOV21	15DEC21
3320	Roofing - Metal Wall Panels	5d	5d	16DEC21	20DEC21
3330	Roofing - Downspouts	3d	3d	16DEC21	20DEC21
Wall Dry-In					
3340	Masonry - Damproofing	3d	3d	12OCT21	14OCT21
3350	Masonry - Brick Veneer	15d	15d	04JAN22	24JAN22
3360	Glazing - Aluminum Windows	10d	10d	15OCT21	28OCT21
3380	DF&H - Exterior	10d	10d	15OCT21	28OCT21
Rough-In					
3380	Electrical - Ceiling	25d	25d	16DEC21	19JAN22
3400	Plumbing - Ceiling	15d	15d	16DEC21	05JAN22
3410	Fire Sprinkler - Ceiling	5d	5d	02DEC21	09DEC21
3420	HVAC - Ductwork	15d	15d	16DEC21	05JAN22
3430	Electrical - Wiring	10d	10d	06JAN22	19JAN22
3440	HVAC - Insulation	10d	10d	06JAN22	19JAN22
3445	Steel - Mezzanine Ladder and Rails	5d	5d	30DEC21	05JAN22
3450	HVAC - Equipment	5d	5d	06JAN22	19JAN22
3460	Electrical - Gear	5d	5d	13JAN22	19JAN22
3470	Insulation - Spray Foam	3d	3d	20JAN22	24JAN22
3480	HVAC - Piping	10d	10d	06JAN22	19JAN22
3490	HVAC - Controls	5d	5d	20JAN22	26JAN22
Finishes					
3500	Drywall - Framing	20d	20d	29NOV21	20DEC21
3530	Drywall - Above Ceiling Hang & Finish	5d	5d	23DEC21	29DEC21
3540	Drywall - Frame Hard Lids	5d	5d	23DEC21	29DEC21
3550	Drywall - Hard Lid Hang & Finish	5d	5d	30DEC21	05JAN22
3560	Paint - Prime	5d	5d	06JAN22	12JAN22
3570	Acoustical Ceiling - Grid	10d	10d	13JAN22	26JAN22
3580	Electrical - Trim	15d	15d	27JAN22	09FEB22
3590	Flooring - Ceramic Tile	10d	10d	27JAN22	09FEB22
3600	Fire Sprinkler - Trim	5d	5d	03FEB22	09FEB22
3630	HVAC - Trim	15d	15d	27JAN22	16FEB22
3660	Plumbing - Trim	10d	10d	10FEB22	23FEB22
3663	Casework - Cabinets	5d	5d	24FEB22	02MAR22
3666	Casework - Tops	3d	3d	03MAR22	07MAR22
3668	Flooring - Soft	15d	15d	03MAR22	23MAR22
3670	DF&H - Interior	10d	10d	24FEB22	09MAR22
3690	Glazing - Interior	5d	5d	10MAR22	16MAR22
3710	HVAC - T&B	5d	5d	17FEB22	23FEB22
3730	Specialties - Misc	10d	10d	24FEB22	09MAR22
3750	Final Clean	5d	5d	24MAR22	30MAR22

Start date 09MAR21

Finish date 29JUL22

Data date 09MAR21

Run date 21FEB21

Page number 4A

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Legend:

- Early bar
- Progress bar
- Critical bar
- Summary bar
- Start milestone point
- Finish milestone point

Exhibit 1 - GMP Book dated 2/23/21

Act ID	Description	Orig. Item	Team	Early Start	Early Finish	2021	2022	2023	
4630	HVAC - Trim	15d	15d	10FEB22	02MAR22				
4631	Plumbing - Trim	10d	10d	24FEB22	09MAR22				
4632	Casework - Cabinets	5d	5d	10MAR22	19MAR22				
4633	Casework - Tops	3d	3d	17MAR22	21MAR22				
4634	Flooring - Soft	10d	10d	17MAR22	30MAR22				
4635	DF&H - Interior	5d	5d	10MAR22	18MAR22				
4636	Glazing - Interior	5d	5d	17MAR22	25MAR22				
4637	HVAC - T&B	5d	5d	03MAR22	09MAR22				
4638	Specialties - Misc	10d	10d	10MAR22	23MAR22				
4639	Final Clean	5d	5d	31MAR22	06APR22				
Building 700 - Classrooms									
Structure									
5155	Building 700 Layout	5d	5d	17JUN21	23JUN21				
5160	Plumbing - Slab Rough-in	5d	5d	15JUL21	21JUL21				
5170	Electrical - Slab	5d	5d	08JUL21	14JUL21				
5180	Concrete - Foundations	10d	10d	05AUG21	15AUG21				
5200	Masonry - CMU Stemwall	5d	5d	19AUG21	25AUG21				
5210	Slab on Grade - Prep	5d	5d	19AUG21	25AUG21				
5220	Slab on Grade - Place	3d	3d	28AUG21	30AUG21				
5230	Steel - Columns, Beams, Joists	10d	10d	31AUG21	10SEP21				
5240	Masonry - Ext CMU Walls	16d	16d	02NOV21	22NOV21				
5250	Masonry - Interior Walls	15d	15d	19NOV21	06DEC21				
5260	Concrete - Formed Columns & Beams	10d	10d	19NOV21	29NOV21				
5270	Light Gauge Truss - Truss Install	10d	10d	30NOV21	10DEC21				
5280	Light Gauge Truss - Deck Install	5d	5d	14DEC21	20DEC21				
5283	Concrete - Mezzanine Prep	10d	10d	30NOV21	10DEC21				
5286	Concrete - Mezzanine Place	5d	5d	14DEC21	20DEC21				
Roof Dry-In									
5290	Roofing - Insulation & UL	5d	5d	27DEC21	27DEC21				
5300	Roofing - Fascia, Gutter & Soffits	5d	5d	28DEC21	03JAN22				
5310	Roofing - Metal Roof	10d	10d	30DEC21	12JAN22				
5320	Roofing - Metal Wall Panels	5d	5d	13JAN22	19JAN22				
5330	Roofing - Downspouts	3d	3d	13JAN22	17JAN22				
Wall Dry-In									
5340	Masonry - Dampproofing	3d	3d	23NOV21	28NOV21				
5350	Masonry - Brick Veneer	10d	10d	08FEB22	27FEB22				
5360	Glazing - Aluminum Windows	5d	5d	28NOV21	02DEC21				
5380	DF&H - Exterior	5d	5d	28NOV21	02DEC21				
Rough-In									
5390	Electrical - Ceiling	15d	15d	20JAN22	09FEB22				
5400	Plumbing - Ceiling	10d	10d	06JAN22	19JAN22				
5410	Fire Sprinkler - Ceiling	5d	5d	06JAN22	12JAN22				
5420	HVAC - Ductwork	10d	10d	06JAN22	19JAN22				
5430	Electrical - Wiring	10d	10d	27JAN22	09FEB22				
5440	HVAC - Insulation	10d	10d	20JAN22	02FEB22				
5445	Steel - Mezzanine Ladder and Rails	5d	5d	13JAN22	19JAN22				
5450	HVAC - Equipment	5d	5d	20JAN22	26JAN22				
5460	Electrical - Gear	5d	5d	27JAN22	02FEB22				
5470	Insulation - Spray Foam	3d	3d	08FEB22	07FEB22				
5480	HVAC - Piping	10d	10d	20JAN22	02FEB22				
5490	HVAC - Controls	5d	5d	08FEB22	09FEB22				
Finishes									
5495	Start date	08MAR21							
5496	Finish date	29JUL22							
5497	Data date	09MAR21							
5498	Run date	21FEB21							
5499	Page number	6A							
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Early bar	Early bar
Progress bar	Progress bar
Critical bar	Critical bar
Summary bar	Summary bar
Start milestone point	Start milestone point
Finish milestone point	Finish milestone point

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